

Print Date: Tuesday, May 25, 2021 4:37 PM

STRUCTURAL NOTES:

INSTALL FOUNDATIONS A MINIMUM OF 12 INCHES INTO SOUND, ORIGINAL, UNDISTURBED SOIL, OR PROPERLY INSTALLED STRUCTURAL (CONTROLLED) FILL. EITHER OF WHICH SHALL HAVE A MINIMUM SAFE BEARING CAPACITY OF 2,000 PSF. STRUCTURAL FILL PLACED UNDER FOOTINGS SHALL CONSIST OF VDOT #57, #21A, LOW PLASTICITY SOILS, OR OTHER CRUSHED STONE AND SAND AGGREGATE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.

UNDERCUT ROCK ENCOUNTERED IN FOOTING EXCAVATIONS TO A DEPTH OF 12 INCHES MINIMUM BELOW THE BOTTOM OF THE FOOTINGS, UNLESS THE FOOTINGS ARE INDICATED TO BEAR ON ROCK. BENCH ANY ANGLED EXPOSED ROCK TO A LEVEL SURFACE, INSTALL STRUCTURAL FILL IN PLACE OF THE REMOVED ROCK.

STEP FOOTING BELOW PIPES PENETRATING FOUNDATION WALL IN ACCORDANCE WITH THE TYPICAL DETAIL.

PROVIDE CONSTRUCTION SITE DRAINAGE TO PREVENT SURFACE RUNOFF FROM ENTERING THE BASEMENT AND FOOTING EXCAVATIONS.

COMPACT GRANULAR FILL BELOW SLAB ON GRADE WITH VIBRATING COMPACTORS ACCORDING TO THE DIRECTIONS OF THE GEOTECHNICAL ENGINEER, BUT NOT LESS THAN 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698 OR D1557.

BRACE ANY WALLS THAT RETAIN UNBALANCED FILL OR BACKFILL UNTIL PERMANENT RESTRAINING CONSTRUCTION ASSEMBLIES (SUCH AS THE FLOOR SLAB ABOVE AND/OR BELOW) ARE INSTALLED AND ATTAIN DESIGN STRENGTH. IT IS THE INTENT OF THESE DRAWINGS THAT BASEMENT WALLS NOT BE BACKFILLED UNTIL THE FLOOR STRUCTURE ABOVE IS ERECTED AND THE CONCRETE SLABS ABOVE AND BELOW ATTAIN DESIGN STRENGTH.

INSTALL FOUNDATION DRAINS IN AN 18 INCH WIDE ZONE OF VDOT #57 AGGREGATE, SEPARATED FROM GENERAL BACKFILL BY A GEO-FABRIC EQUIVALENT TO MIRAFI 140N. INSTALL GENERAL BACK FILL FOR ALL BASEMENT AND RETAINING WALLS CONSISTING OF FREELY-DRAINING / PREDOMINANTLY GRANULAR MATERIAL ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.

CONCRETE:

INSTALL CONCRETE WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE STANDARD ACI-318 (CURRENT EDITION).

PROVIDE CONCRETE CONFORMING TO THE FOLLOWING: MINIMUM 28 DAY COMPRESSIVE STRENGTH:

FOOTINGS: 3,000 PSI
WALLS: 4,000 PSI
SLABS: 4,000 PSI
WALKS: 4,000 PSI
AIR ENTRAINMENT: 4 TO 6 %

DO NOT PROVIDE AIR ENTRAINMENT FOR INTERIOR SLABS.
NO ADMIXTURES OR PRODUCTS CONTAINING CHLORIDES ARE PERMITTED. PROVIDE SUBMITTALS FOR CONCRETE MIX DESIGN, REINFORCING, AND ADMIXTURES FOR APPROVAL.

PROVIDE CONCRETE REINFORCING CONFORMING TO THE FOLLOWING:
CONCRETE BAR REINFORCEMENT: ASTM A615, GRADE 60
STIRRUPS AND TIES: ASTM A615, GRADE 60
WELDED WIRE FABRIC: ASTM A185

PROVIDE TYPICAL FLOOR SLABS-ON-GRADE AND EXTERIOR WALKS AS FOLLOWS: 4 INCHES THICK, REINFORCED WITH 6x6-W1.4xW1.4 OR 6x6-W2.0xW2.0 WELDED WIRE FABRIC.

OPTIONAL: TYPICAL FLOOR SLABS-ON-GRADE AND EXTERIOR WALKS DESIGN: 4 INCHES THICK, WITH FIBER-REINFORCING (1.5 POUNDS PER CUBIC YARD, FIBRILLATED POLYPROPYLENE, ASTM C1116 TYPE-III, FIBER MESH OR EQUAL).

FOR SLABS-ON-GRADE, PROVIDE A SAW-CUT SLAB CONTROL JOINT SYSTEM EQUAL TO THE "SOFF-CUT" SYSTEM AS INDICATED ON THE DRAWINGS AND AT COLUMN LINES AND TYPICAL LOCATIONS SUCH THAT:

- (1) EACH AREA BOUNDED BY CONTROL JOINTS DOES NOT EXCEED 160 SF,
- (2) THE DISTANCE BETWEEN CONTROL JOINTS DOES NOT EXCEED 13 FEET IN EITHER DIRECTION.
- (3) THE RATIO OF LENGTH TO WIDTH OF ANY AREA BOUNDED BY CONTROL JOINTS DOES NOT EXCEED 2 TO 1. INSTALL CONTROL JOINTS AROUND COLUMNS AS INDICATED ON THE DETAILS.

WHERE EACH FLOOR SLAB ABUTTS A CMU OR CONCRETE WALL, PROVIDE A BOND BREAK BY TURNING THE VAPOR BARRIER UP AT THE SLAB PERIMETER.

STRUCTURAL & ENGINEERED WOOD:

PROVIDE PRESERVATIVE-PRESSURE-TREATED (PT) LUMBER FOR LUMBER IN CONTACT WITH CONCRETE OR MASONRY.

PROVIDE DIMENSIONAL LUMBER CONFORMING TO THE FOLLOWING:

BEAMS, JOISTS, RAFTERS, HEADERS: (UNLESS OTHERWISE SPECIFIED)
2 SOUTHERN PINE, KD19
2 SPRUCE-PINE-FIR, KD19

STUDS:
STUD GRADE # 2 SOUTHERN PINE, KD19
STUD GRADE # 2 SPRUCE-PINE-FIR, KD19 # 2 SOUTHERN PINE, KD19

PLATES:
2 SOUTHERN PINE, KD19 # 2 SPRUCE-PINE-FIR, KD19

LAMINATED VENEER LUMBER (LVL):
Fb=2800, Fv=250, Fc=550, E=2,000,000, Ft=2600 (ALL PSI MIN)

PROVIDE STRUCTURAL PANELS CONFORMING TO THE FOLLOWING:
OSB SHEATHING OR ALL-VENEER PLYWOOD PANELS-
GROUP 1, AMERICAN PLYWOOD ASSOCIATION (APA) RATED AS FOLLOWS:
SUBFLOOR: 3/4", RATED STURD-I-FLOOR T&G, 24 OC, EXPOSURE 1
WALL SHEATHING / BRACING: 1/2", RATED SHEATHING, 32/16, EXPOSURE 1
ROOF SHEATHING: 19/32" OR 5/8", RATED SHEATHING, 40/20, EXPOSURE 1
ROOF SHEATHING & NAIL BASE: 23/32" OR 3/4", RATED SHEATHING, 48/24, EXPOSURE 1, T&G WHERE INDICATED

DESIGN, FABRICATE, AND ERECT ROOF AND FLOOR TRUSSES IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TRUSS PLATE INSTITUTE (TPI).
PROVIDE TRUSSES DESIGNED & FABRICATED BY THE FABRICATOR AS A SYSTEM. PROVIDE STRUCTURAL DESIGN FOR TRUSSES AND HANGERS BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE COMMONWEALTH OF VIRGINIA. SUBMIT TRUSS SHOP DRAWINGS, SEALED BY THIS ENGINEER, FOR APPROVAL. THE FABRICATOR'S ENGINEER IS REQUIRED TO SELECT TRUSS HANGERS AND THE FABRICATOR AS REQUIRED TO FURNISH ALL HANGERS NECESSARY TO CONNECT ANY TRUSS TO ANOTHER TRUSS (SUCH AS A GIRDER-TRUSS).

COMPLY WITH ALL BRACING REQUIREMENTS INDICATED BY THE FABRICATOR, THE TPI SPECIFICATIONS, TPI-BWT, TPI-HIB, AND THESE DRAWINGS.

FABRICATOR: DESIGN TRUSSES TO MEET IBC REQUIREMENTS. ROOF TRUSS LOADS (UNLESS INDICATED OTHERWISE):

BC DEAD = 5 PSF, BC LIVE = PER IBC
TC DEAD = 10 PSF, TC LIVE = 30 PSF (UNREDUCED BUT NOT CONCURRENT W/ SNOW),
TC SNOW = PER IBC / GROUND SNOW LOAD 30 PSF - APPLY SNOW-LOAD COEFFICIENTS FOR DRIFT, SLIDE, ROOF CONFIGURATION, AND EXPOSURE.

TRUSS MEMBERS: SOUTHERN PINE, KILN-DRIED TO MOISTURE CONTENT OF 19% OR LESS, SIZE AND GRADE AS REQUIRED BY DESIGN, BUT NOT LESS THAN NO. 2 FOR ANY MEMBER.

CONNECT BEARING POINTS OF ROOF AND ATTIC TRUSSES TO SUPPORTING CONSTRUCTION WITH ANCHORS INDICATED. WHERE ANCHORS ARE NOT DESIGNATED, INSTALL ANCHORS EQUAL TO SIMPSON H1 OR H2.5A AT ALL ROOF AND ATTIC TRUSS BEARING POINTS; AND DOUBLE H2.5A ANCHORS AT ALL GIRDER-TRUSS BEARING POINTS.

BRACE ALL EXTERIOR FRAME WALLS THROUGH-OUT (FULL COVERAGE) WITH APA-RATED STRUCTURAL WALL SHEATHING. REFER TO DETAILS FOR SPECIAL PANEL NAILING AND ANCHOR-STRAP REQUIREMENTS.

FASTENING SCHEDULE:
COMPLY WITH IBC TABLE 2304.9.1 UNLESS OTHERWISE INDICATED.

GENERAL:

THE TERM "PROVIDE", WHERE USED IN THESE DRAWINGS, IS TO BE INTERPRETED AS A COMBINATION OF BOTH "FURNISH" AND "INSTALL".

COORDINATE CONFIGURATION AND LOCATION OF EQUIPMENT SUPPORTS,PENETRATIONS, AN OPENINGS WITH APPROVED MECHANICAL OR OTHER APPROVED SHOP DRAWINGS.
DO NOT CUT FLOOR TRUSSES FOR PLUMBING PENETRATIONS!

WHERE STRUCTURAL MEMBERS PASS THROUGH OR ABOVE NON-LOAD-BEARING PARTITIONS, PROVIDE CLEARANCES TO PERMIT THE STRUCTURE TO DEFLECT WITHOUT LOADING THE PARTITIONS. WHERE SPECIFIC CLEARANCES ARE NOT INDICATED, PROVIDE NOT LESS THAN 1" AROUND THE MEMBERS. PACK THE CLEARANCE SPACES WITH SAFING, MINERAL WOOL, FIBERGLASS, OR SPECIFIC UL RATED OR LISTED ASSEMBLIES INDICATED.

SOIL BEARING PRESSURE: 2,000 PSF ASSUMED

STRUCTURAL DESIGN LOADS:

LIVE LOADS:
FLOOR: 40 PSF
ROOF: 30 PSF
CEILING: 20 PSF

GROUND SNOW LOAD: 42.5 PSF
LATERAL WIND: 90 MPH

PROJECT BUILDING CODES

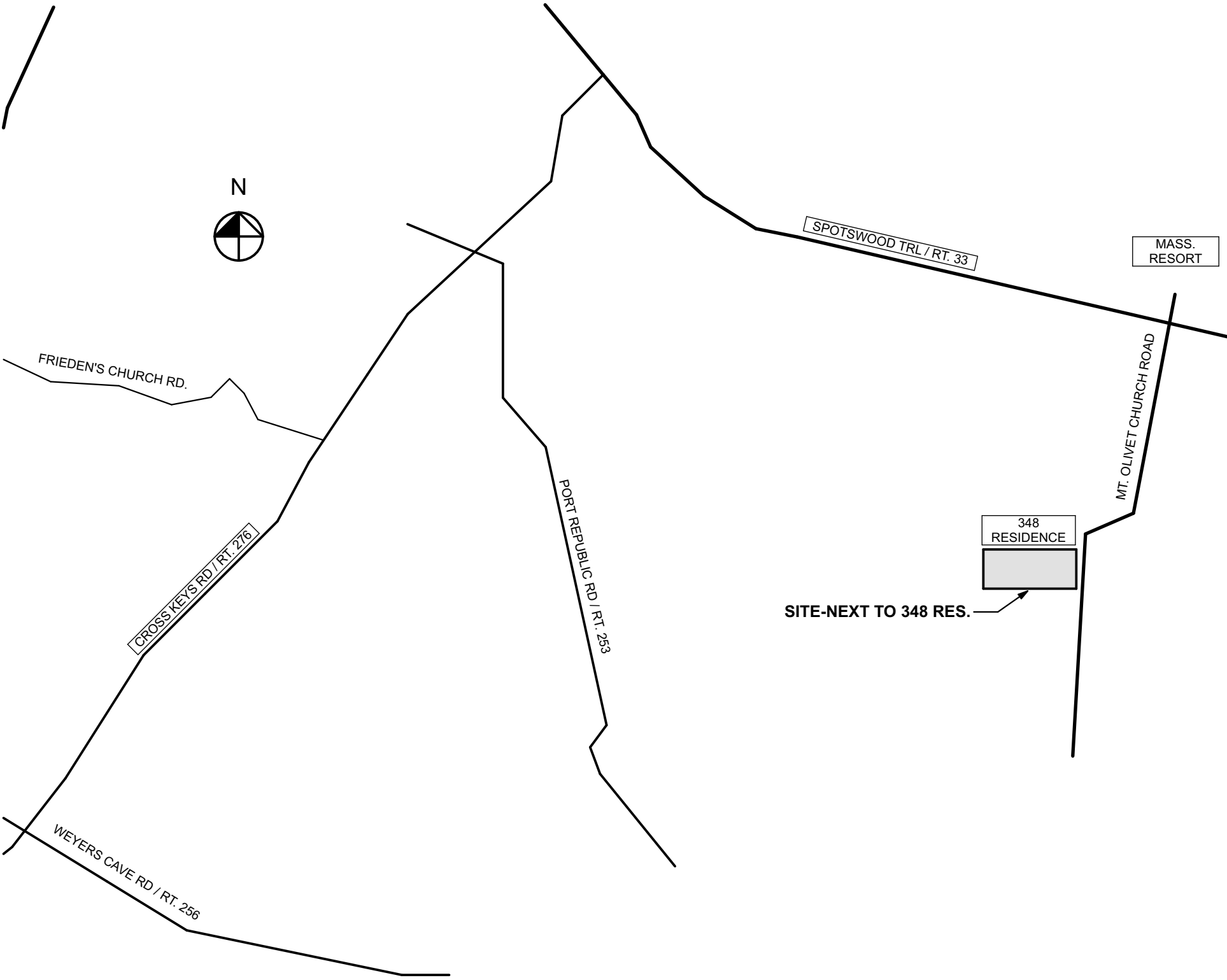
THIS PROJECT IS DESIGNED AND IS TO BE CONSTRUCTED IN CONFORMANCE WITH THE FOLLOWING CODES, ALL AS AMENDED, ADOPTED, AND PROMULGATED BY THE VIRGINIA DEPARTMENT OF FIRE AND BUILDING SERVICES.

BUILDING CODE

INTERNATIONAL RESIDENTIAL BUILDING CODE / 2015
VA UNIFORM STATEWIDE BUILDING CODE / 2015

CODE COMPLIANCE

USE GROUP R-5
CONSTRUCTION CLASSIFICATION VB



VICINITY

SCALE: 1" = 10'

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A-704	INTERIOR ELEVATIONS	<input checked="" type="checkbox"/>

BUILDING GROSS SQUARE FOOT (S.F.) DATA:	
FIRST FLOOR AREA: FINISHED:	2,700 S.F.
GARAGE FLOOR AREA: UNFINISHED:	532 S.F.
FRONT PORCH: SIDE PORCH: REAR DECK:	175 S.F. 43 S.F. 794 S.F.
FRONT WALKWAY: SIDE WALKWAY: PATIO:	180 S.F. 207 S.F. 740 S.F.
DRIVEWAY:	1,850 S.F.
TOTAL FINISHED: TOTAL UNFINISHED: TOTAL PORCH:	2,700 S.F. 541 S.F. 1,012 S.F.

THE RASMUSSEN
RESIDENCE

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Class A Contractor # 2705-106037A

Certified Landscape Architect #0406-000897

REV. DATE COMMENTS

-	-	-
-	-	-

MAY 25, 2021

CONSTRUCTION DOCUMENTS

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SHEET TITLE

COVER SHEET

A-001

Section 01 30 00 -Administrative Requirements

Permits – All permits shall be provided by and paid for by The Stratford Companies, Inc. (Unless otherwise noted).

Section 01 50 00 -Temporary Facilities and Controls

Temporary utilities (including temp. toilets, temp. water and temp. power) shall be paid for by The Stratford Companies, Inc.

Section 01 70 00 -Execution and Closeout Requirements

Final cleaning provided The Stratford Companies, Inc.

The Owner shall receive demonstration(s) and training for all Utility equipment/systems. Provide all equipment operation manuals for the equipment to the owner at the time of the demonstration/training sessions.

Section 02 20 00 -Assessment

Surveying – All surveying for construction stakeout and inspections shall be provided by and paid for by The Stratford Companies, Inc.

Section 03 30 00 -Cast-in-Place Concrete

Footings – Continuous concrete footings & footing piers with re-bar per engineer’s specifications.

Garage Slab – Garage floor shall be a concrete slab on grade, monolithic, smooth finish, sealed and sloped to drain towards garage door.

Hot Tub Slab - Shall be a concrete slab on grade over stone fill, monolithic, trowel finish and level.

Front Sidewalk - Sidewalk from front entry to the driveway per the Architectural drawings to be (Design standard) Yorkstone 18-in L x 18-in W x 2-in H Concrete Patio Stone pavers on grade.

PRICE OPTION: Side Walkway to Patio - Sidewalk from front entry to the driveway per the Architectural drawings to be (Design standard) Yorkstone 18-in L x 18-in W x 2-in H Concrete Patio Stone pavers on grade.

PRICE OPTION: Patio & Fire Ring - Patio slab shall be a concrete slab on grade, monolithic, broom finish, sloped to drain away from the house.

Section 04 20 00 -Unit Masonry

Foundation Walls & Piers - Provide CMU and mortar for foundation walls & porch piers as indicated on the drawings.

Section 04 70 00 -Manufactured Masonry

Exterior Stone Veneer - Provide wet set stone veneer by Eldorado Stone -Ledgcut 33 Whitecap (or approved equivalent) per Stone Veneer Allowance per the drawings. Type, color and grade to be selected from stock options.

Exterior Accent Stone - Provide wet set accent stone Split Edge Wainscot Sili - White Cloud (or approved equivalent) per Stone Veneer Allowance per the drawing. Type, color and grade to be selected from stock options. Continuous on top of stone veneer.

Exterior Accent Stone Column Cap - Provide wet set accent stone Split Edge Column Cap 22" x 22" - White Cloud (or approved equivalent) per Stone Veneer Allowance per the drawing. Type, color and grade to be selected from stock options. Field cut to set around Front Porch columns.

Exterior Accent Stone Wall Cap - Provide wet set accent stone Split Edge Wall Cap 12" x 30" - White Cloud (or approved equivalent) per Stone Veneer Allowance per the drawing. Type, color and grade to be selected from stock options. Provide on retaining wall at Garage.

PRICE OPTION: Driveway Border - Provide a concrete paver for the border of the driveway from the street to the parking pad (not including the parking pad). Design standard: Square 12-in L x 12-in W x 2-in H Concrete Patio Stone.

Section 06 10 00 -Rough Carpentry

Sills – 2 x 6 / 2 x 8 pressure treated lumber shall be anchored to the foundation with 1/2" anchor bolts with minimum 7" embedment spaced at maximum 6'-0" o.c. and within 12" from the ends of each plate section. No section of sill shall have fewer than two anchor bolts.

Floor Framing – Floor systems to be engineered I-Joists framing system over engineered wood girders/laminated veneer lumber or dimensional lumber per plans and code.

Floor Sheathing – 3/4" tongue and groove Advantech treated for water resistance. All panels glued with construction adhesive and screwed tight.

Interior Wall framing – All walls shall be 2 x 4, 16" o.c. (unless noted otherwise on the drawings). Fire-blocking as required. Insofar as is practical, framing shall take into account energy considerations. This shall include avoidance of all hard to insulate "dead spots," as when an interior wall intersects an exterior wall.

Exterior Wall framing- All exterior walls shall between 2 x 4, 16" o.c (unless noted otherwise on the drawings). Fire-blocking as required. Insofar as is practical, framing shall take into account energy considerations. This shall include avoidance of all hard to insulate "dead spots," as when an interior wall intersects an exterior wall.

Window and Door Headers – All headers in bearing walls to be sized per code. Non-bearing headers to be double 2x4 unless otherwise noted.

Wall sheathing – 1/2" OSB. Covered with Tyvek (or equivalent) vapor barrier on outside. All seams of and perforations through vapor barrier shall be taped.

Roof Framing –Engineered truss system with field framing where deemed necessary.

Roof Sheathing – Provide 5/8" OSB.

Porch Columns - Substructure to be 6x6 ppt lumber. Refer to 06 80 00 Composite Fabrications for finish columns.

Porch Roof - Engineered truss system with field framing where deemed necessary.

Porch Floor Framing - Shall be 2 x 8 & 2 x10 PPT nominal lumber.

Section 06 20 00 -Finish Carpentry

All doors, windows, baseboard trim shall be provided utilizing paint grade wood/MDF unless noted otherwise.

Door Trim - Paint grade 3 1/4" square edge wood casing and Plinth block at base of door, refer to A-601 for Details.

Window Trim - Drywall returns on head and jambs with wood paint grade stools. Refer to A-602 Finish Details.

Baseboard - Paint grade 5 1/2" wood/MDF square edge profile. Paint grade shoe mould shall be utilized where applicable.

Fireplace Mantel - Material, design and finish shall be determined under the Mantel Allowance, per plans.

Closets - All closets (other than Master Bedroom) shall be constructed on site (MDF, WD) per plans. All materials to be painted.

Closet - Master Bedroom shall be a prefinished modular closet system TBD.

PRICE OPTION: Provide painted T&G pine boards on the ceiling of the vaulted rooms of Kitchen, Dining and Great Room.

Section 06 40 00 -Architectural Woodwork

Cabinets and Countertops - All cabinetry, installation, and countertops, including sides and knobs shall be provided per Cabinetry & Countertop Allowances.

Cabinetry:

Kitchen - Schrock (or equivalent) maple plywood boxes, MDF doors/drawers, soft close drawers. Standard white finish.
Master Bath & Guest Bath - Schrock (or equivalent) maple plywood boxes, MDF doors/ drawers, soft close drawers. Standard white finish.
Laundry - Schrock (or equivalent) maple plywood boxes, MDF doors/drawers, soft close drawers. Standard white finish.

Countertops:

Kitchen - Granite; polished level 2 grade with pencil edge profile & necessary backsplashes.

Master Bath & Guest Bath - Granite; polished level 2 grade with pencil edge profile & necessary backsplashes.

Laundry - Laminate, square edge profile with necessary backsplashes. Laminate to be selected from stock options.

Section 06 80 00 -Composite Fabrications

Rear Porch Decorative Columns - Square PVC wrapped columns per drawings.

Decking - Deck boards to be Timbertech "Terrain" Series (or equivalent) with hidden fastener system & solid perimeter/stair tread boards.

Section 07 10 00 -Dampproofing and Waterproofing

Waterproofing – Spray applied asphalt and protection board waterproofing to be applied to all below grade portions of crawl space.

Foundation Drains - Continuous form-a-drain & corrugated drain tile shall be provided on below-grade sections of house w/m of 12" of gravel and covered with geotech fabric. Formed footings shall utilize Form-a-Drain system. Trench dug footings such as the Garage area shall utilize corrugated drain tile. Connect form-a-drain to continuous 4" dia. solid corrugated ADS drain tile, drained to daylight.

Section 07 20 00 - Thermal Protection

Wall Insulation – 2 x 4 Exterior walls shall be a R-15 blown cellulose system. Caulk all exterior wall seams/joints.

PRICE OPTION: Conditioned Crawl space. Walls shall have 2" rigid R-10 insulation board.

Interior walls of Bedrooms, Bathrooms, and Laundry Room shall be R-11 unfaced fiberglass batts for sound.

Ceiling Insulation – Blown cellulose insulation to a depth rating of R-38 where accessible, R-38 fiberglass batt elsewhere as necessitated by code. Attic Eaves shall have Vent Baffles for proper attic air ventilation.

Doors and Windows - Spray foam insulation.

Section 07 25 00 - Weather Barriers

PVC Trim component systems - 4" frieze boards, 4" rake boards, 4" corner boards, 6" band boards and 4" door trim.

Exterior Finish – Fiber cement, Board and Batten style siding (white). Confirm color to be selected from standard options. Triple 4 black soffits, black Lomar aluminum trim coil, drip cap top edge of band board.

Porch to be PVC trimmed vinyl T2 style crest beaded ceiling. Porch beams Nom. 1" x (required width)" Steps shall have 1 x PVC risers. All PVC to be left unpainted. All required accessory channels and trim and lumber / furring for a neat and complete appearance.

Section 07 40 00 - Roofing and Siding Panels

Roofing – Architectural shingles: 30 year, over Ice & Water shield (roof perimeters and valleys) and #30 synthetic felt. Shingle color TBD from stock color choices (GAF Timberline HD or equivalent).

Roofing - Shed type roofing shall be architectural prefinished metal standing seam. 26 Ga. steel 16" pan, mechanical locking seam. Color to be selected from manufactures standard colors with matching snow guards.

Roofing - Rear Deck roofing shall be TPO (White) membrane system including cover board and vapor barrier.

Section 07 70 00 - Roof and Wall Specialties and Accessories

Fascia and Soffit – Vented vinyl soffit on horizontal eaves, solid soffit on gabled eaves. Fascia to be wrapped in black aluminum.

Guttering – 5" Black aluminum K style with downspouts. Downspout locations left to the discretion of contractor. All downspouts shall be drained a minimum of 2' from house perimeter to daylight in schedule 20 piping.

Attic Ventilation – Passive Ridge-Vent system on all roof ridges over five feet in length.

Foundation ventilation - Provide 16" x 8" black plastic operable foundation vents to fit in CMU block opening.

Exhaust Hood roof vent - Provide 6" and/or 8" black FAMCO Painted Rooftop Exhaust Vent Cap with Damper and Bottom Extension. Refer to Roofing Direct.com. Coordinate sizes with manufactures duct vent requirements.

Section 08 10 00 - Doors and Frames

Doors – Refer to the Architectural drawings for details.

Section 08 30 00 - Specialty Doors and Frames

Garage Doors – To be Wayne Dalton 9100 series or approved equivalent, traditional short panel with decorative insert window, plain short, clear glass (top panel). Standard color: white. Overhead motorized opener, Torsion spring and (2) remotes.

Access Doors - Scuttle panel access openings & pull-down (30" W x 60" L) stairs, provide weatherstripping per code. Refer to architectural drawings for locations. Pull-down design standard: Louisville Ladder Model # L305F or Werner Model # WH3010.

Crawlspace Access Door - Provide Curb Appeal Products PVC door. Type: Inset configuration. Curbappealproducts.com.

Section 08 50 00 - Windows

Windows – Refer to the Architectural drawings for details.

Section 08 70 00 - Hardware

Interior Door Hardware – Knob/lever sets in Black finish, per Hardware Allowance.

Exterior Door Hardware - Entry lock sets in black finish, per Hardware Allowance.

Door between House and Garage shall have a self closing hardware and latching handle set.

Section 09 20 00 - Plaster and Gypsum Board

Interior Walls and Ceilings – To be 1/2" drywall with level 4 finish on walls and ceilings unless noted otherwise. Fire-rated drywall in garage per code. Finish installation shall be complete prior to the commencing of trim installation. Provide Moisture Resistant drywall in bathrooms.

Section 09 28 00 - Cement Board

Cement backer board – To be 1/2" cementitious water durable board for use with tile and stone veneer over wood framing.

Section 09 30 00 -Tiling

General- Tile abutting dissimilar materials, Tile abutting tile at inside corners, shall be caulked with approved type and color. Provide Ceramic Tile (CT) with tile adhesive over drywall on non-wet locations. Provide CT with tile adhesive over fiber cement board substrate in all wet locations.

Tile Allowance includes: cement backer board, thin set, tile, grout, shower pan(s) and labor to install. Specialty tile layouts & sizes may incur additional labor costs.

Showers – Master Bathroom and Guest Bedroom shower to be tiled shower with bench seat & niches per plans, floor tile to be mosaic profile. Shower to have no threshold.

Backsplash - Kitchen walls above counter and below the wall cabinets, per drawings, material to be determined.

Master Bedroom Accent Wall - Full height of wall per the architectural drawings. Material to be determined.

Section 09 60 00 - Floorings

Wood Flooring - Where indicated on the drawings shall be T&G prefinished 1/2" engineered wood per Hardwood Flooring Allowance.

Wood Flooring Underlayment - Provide moisture vapor retarder underlayment at wood floor locations. Design Standard : Aquabar "B" for appropriate applications.

Tile Flooring - Where indicated on the drawings shall be tile per Tile allowance.

Section 09 90 00 - Painting and Coating

Interior Paint:

Walls: Primed, sanded and painted with a flat finish (**Price option upgrade for satin**), 3 wall colors allowed. Additional colors or dark colors and sheen finishes are subject to additional charges.

Trim: Primed and painted with a semi-gloss finish.

Ceilings: Primed and painted with a flat finish.

Contractor shall use premium paints and sealers (Sherwin Williams or equivalent) on all baseboards, window casings, door casings, interior doors, exterior doors, specialty trim, walls and ceilings; 1 color allowed for trim & ceilings.

Section 10 20 00 - Interior Specialties

Bath Accessories - Provide towel bars, towel rings, paper holders, robe hooks & grab bars per Bath Accessories Allowance.

Mirrors - Vanity mirrors shall be selected per Mirror Allowance.

PRICE OPTION: Exposed Faux Timber Trusses - Provide Built-up Timber trusses in profiles detailed on the architectural plans (Great Room, Dining, Kitchen). Wood species: White Oak. Stain finish TBD.

Exposed Faux Timber Trusses - Provide Built-up Timber trusses in profiles detailed on the architectural plans (Master Bedroom and Front Porch). Wood species: Red Oak. Stain finish TBD.

PRICE OPTION: Rolling Ladder (for the Pantry). Provide a rolling ladder and rail system hardware. Design Standard: Quiet Glide-Maple 8' step rolling ladder and rail.

Section 10 30 00 - Fireplaces

Indoor Fireplace- Provide Amantii BI-72 Slim Electric fireplace unit for interior use. Heater and fan included. Black steel surround with standard included accessories. Option accessories are additional cost to the unit.

Outdoor Fireplace- Provide Amantii BI-72 Slim Electric fireplace unit for exterior use. Heater and fan included. Black steel surround with standard included accessories. Option accessories are additional cost to the unit. BBQGUYs.com

Section 10 90 00 -Exterior Specialties

PRICE OPTION: Yard Fencing - Provide 250' Black aluminum fencing per the architectural plans. Include a vehicle size gate and a person pass gate. Fence to be 3'-6" high.

Stair Railing - Railing system including Posts, post bases, fasteners, series low profile cap rail and intermediate posts.

Mailbox - Provide mailbox; color & features TBD per Mailbox Allowance.

PRICE OPTION: Deck Outdoor BBQ area - Provide installation of LP BBQ grille Blaze Premium LTE 32", 4 burner built-in propane gas grille with rear infrared burner and grille lights - BLZ-4LTE2-LP. Storage Access doors:Blaze (1) 32-Inch Stainless Steel Double Access Door With Paper Towel Holder - BLZ-AD32-R and (2) Blaze 18-Inch Stainless Steel Single Access Door - Vertical - BLZ-SV-1420-R. Wet rated exhaust hood and venting through the roof. BBQGUYs.com

Skylights - Provide Velux 2270 Fixed curb mounted units, flashing and sealants for a complete installation. Include automated solar light filtering blinds integrated with the frame.

Section 11 30 00 - Residential Equipment

Appliances – Provide all appliances per Appliance Allowance (including installation). Appliances to include; (1) 36" Refrigerator with ice maker, (1) Electric 36" Cooktop, (2) Wall ovens, (1) Recessed exhaust hood with blower, (1) Dishwasher, (1) Counter Microwave. (1) Washer and (1) Dryer furnished by the owner and installed by Stratford.

Section 22 00 00 - Plumbing

Provide all applicable permits pertaining to this division. All piping and equipment shall be installed in neat and orderly manner.

Section 22 30 00 - Plumbing Equipment

Passive Radon Venting system - **Provide only if Price Option for Conditioned crawlspace is accepted.** Continuous form-a-drain on below-grade sections of house on inside face(s) of foundation footing(s) and both faces of party wall foundation footings(s). Attached to 3" or 4" PVC piping with continuous routing vertically to 12" above penetration of finished adjacent roof. Crushed stone bed at the foundation level shall be covered and sealed with vapor barrier to direct ventilation to the continuous form-a-drain system.

Section 22 40 00 - Plumbing Fixtures

All plumbing shall meet or exceed code requirements. Water supply lines of PEX. Sewer lines of PVC.

Plumbing Fixtures - Provide all plumbing fixtures per Plumbing Fixture Allowance and indicated on the architectural plans. All Plumbing Fixtures to include required rough-in valves, per Plumbing Fixture Allowance. 40 Gal. electric Water Heater(s) to be located per plans.

Section 23 00 00 - Heating, Ventilating, and Air Conditioning (HVAC)

Provide all applicable permits pertaining to this division. All ductwork, piping and equipment shall be installed in neat and orderly manner.

HVAC – To be designed by HVAC contractor per code. Heating and cooling by high efficiency heat pump (14 SEER) with electric heat strip backup. Single zone. Returns in all bedrooms.

Main Floor: Trane designed tonnage heat pump with Trane Air Handler & 15 kW auxiliary heater, Trane programmable thermostat.

Returns shall be provided in all bedrooms. Registers to be standard finish (white metal). Location of outdoor unit(s) shall be coordinated between The Stratford Companies, Inc. and HVAC subcontractor to minimize lengths of line sets and maximize efficiency while considering aesthetic and sound issues.

Section 26 00 00 - Electrical

Provide all applicable permits pertaining to this division. All conduit/wiring and equipment shall be installed in neat and orderly manner.

Electrical – To be 400 AMP underground service with meter located outside of the Garage (location to be finalized/coordinated with power company). Electrical panel shall be placed opposite of meter base (pending final location of meter as coordinated with the power company). Owner to provide conduit/ burial for new electric connection.

Locations of all electrical switches, outlets, lights, etc. shall be determined during an electrical walk-thru and coordinated with the electrical subcontractor, owner and The Stratford Companies, Inc. Outlets per code. All light fixtures (excluding recessed can lighting) and bulbs per Lighting Fixture Allowance.

Cover Plates / Outlets - Cover plates, switches & outlets to be standard finish (white). Switches to be standard toggle profile.

Section 26 20 00 - Low-Voltage Electrical Transmission

Telephones Co-ax and CAT-5 in 5 locations. Exact locations to be determined during electrical walk through.

Section 26 50 00 - Lighting

All ceiling fans, light fixtures, and bulbs per Lighting Fixture allowance. Refer to Architectural drawings.

Specific additional fixture design information regarding types of light including but not limited to the following: Recessed fixtures (not subject to allowance) per the architectural plans. (2) flood lights (subject to the lighting allowance).

PRICE OPTION: Great Room perimeter LED tape lighting. Provide around the perimeter of the Great room, Dining room and Kitchen Programmable LED lighting to be installed in a concealed ledge.

Section 31 00 00 - Earth Works

Excavation – Any rock encountered during excavation shall be subject to additional charge if its removal is required. Building pad to be prepared per related division(s) in this specification. House to be sited within 1' of elevation noted on site plan.

Trenching – Contractor shall add minimum 4" stone above utilities and then backfill and compact as necessary to prevent future settling.

Topsoil – Topsoil to be stockpiled onsite and location to be coordinated with Owner and designated representative for The Stratford Companies, Inc. Contractor to distribute topsoil from stockpile. Additional topsoil, if required, shall be subject to additional charges.

Section 32 00 00 - Exterior Improvements

Pest Control – Contractor shall pre-treat foundation for termite control prior to backfilling and pouring of concrete slabs. Contractor shall present letter of certification to owner for owner's use with lending institutions, insurance companies, etc.

Driveway – 12' wide Asphalt driveway flared at the street and parking pad in front of the garage doors per architectural & site plan drawings.

Section 32 90 00 - Planting

Landscaping – All landscaping, including grass/sod, per Landscaping Allowance.

Sections 33 30 00 - Sanitary Sewerage Utilities

Sanitary Sewer – Private alternative drain field & well TBD. Sanitary sewer and domestic water Tap Fees are in base contract.

End of Specifications.

THE RASMUSSEN RESIDENCE

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Class A Contractor # 2705-1060374

Certified Landscape Architect #0406-000897

REV. DATE COMMENTS

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MAY 25, 2021

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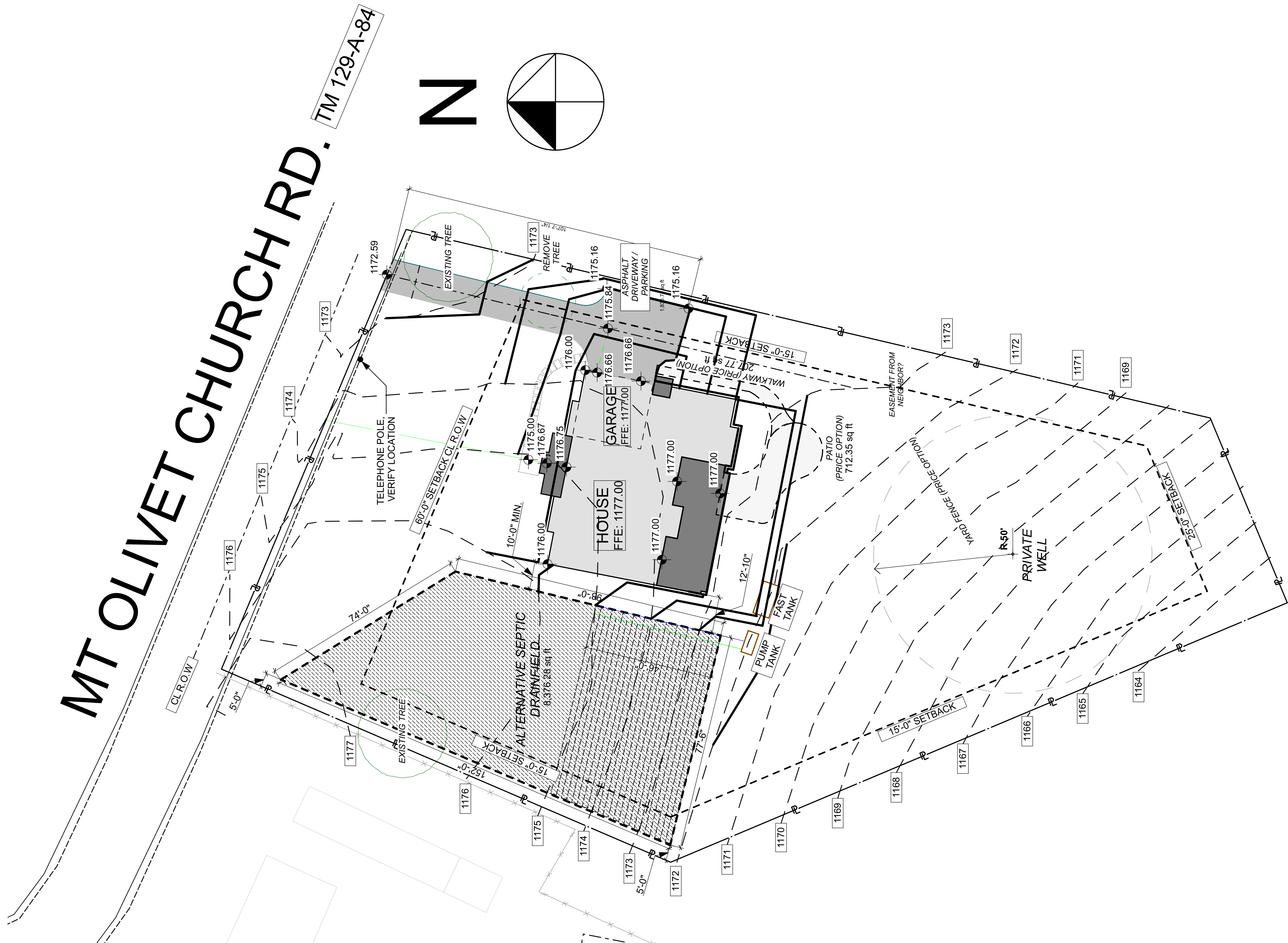
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SHEET TITLE

SPECIFICATIONS

A-002



1 ARCH SITE PLAN
SCALE: 1" = 20'

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REV. DATE COMMENTS

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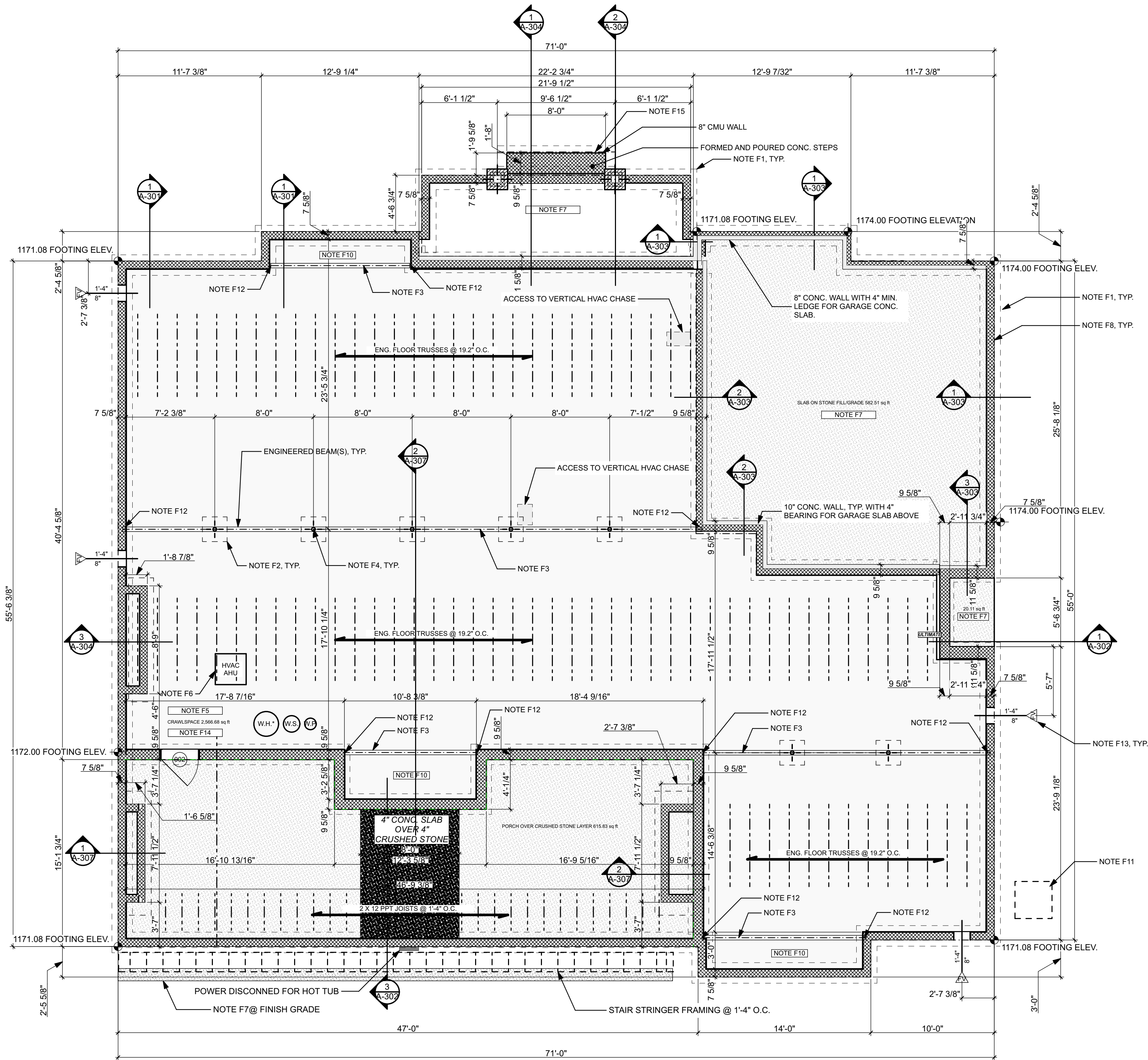
SHEET TITLE

ARCH. SITE PLAN

A-003

Print Date: Tuesday, May 25, 2021 4:37 PM

1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



FOUNDATION PLAN
NOTES(FX):

NOTE F1. CONCRETE CONT. FOOTINGS ARE 2'-0" X 10" THICK WITH 2- #4 REBARS EACH WAY.

NOTE F2. CONCRETE PIER FOOTING 3'-0' X 3'-0' X 10" THICK WITH 3- #4 REBARS EACH WAY.

NOTE F3. ENGINEERED LVL BEAM.

NOTE F4. ENGINEERED STRUCTURAL COLUMN.

NOTE F5. 6 MIL. POLY OVER ENTIRE CRAWLSPACE AREA.

NOTE F6. MAXIMUM 20'-0" DISTANCE FROM CRAWLSPACE ACCESS.

NOTE F7. 4" CONCRETE SLAB OVER 4" CRUSHED STONE ON GRADE.

NOTE F8. CMU FOUNDATION WALLS.

NOTE F9. STEPPED CONCRETE FOOTING.

NOTE F10. JOIST FRAMING (2X8).

NOTE F11. OUTDOOR MECHANICAL EQUIPMENT PAD.

NOTE F12. BEAM POCKETS, COORDINATE SIZES WITH ENGINEERED FLOOR FRAMING.

NOTE F13. REFER TO DETAIL 3/A-501 FOR FOUNDATION VENT.

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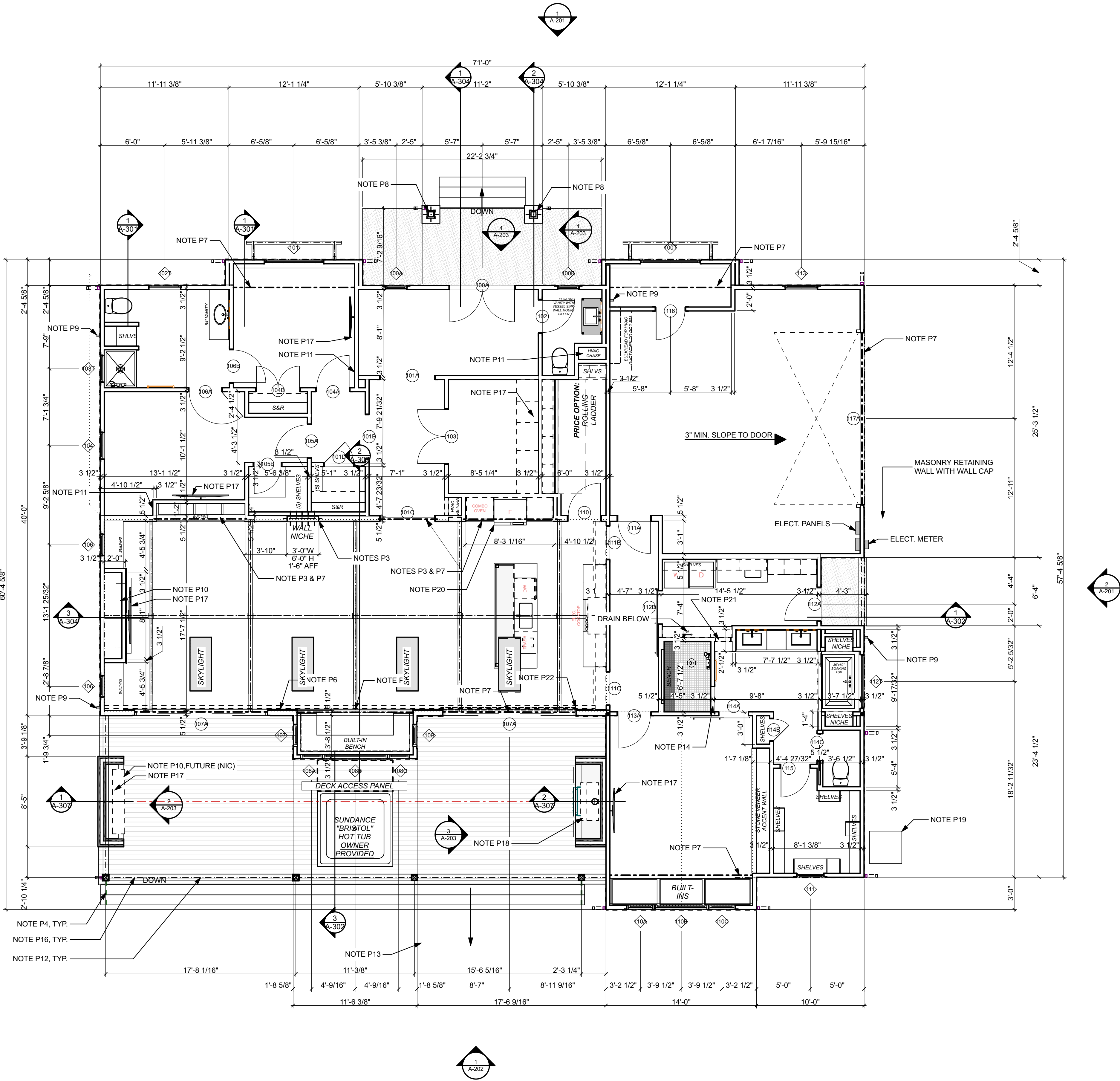
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SHEET TITLE

FOUNDATION & FLOOR
FRAMING PLAN

A-100

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1 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING.
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF FRAMING.
3. WINDOW DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING TO CENTERLINE OF WINDOW OPENING.
4. DRAWINGS ARE DRAWN TO SCALES NOTED FOR PRINTING ON DRAWING SHEETS 24" HIGH X 36" WIDE ONLY. DO NOT SCALE/MEASURE DRAWINGS.

FLOOR PLAN NOTES(PX):

NOTE P1- SHELF AND ROD, REFER TO SPEC. SECT. 06 20 00.

NOTE P2- SHELVES; REFER TO SPEC. SECT. 06 20 00.

NOTE P3- APPLY DRYWALL AND PAINT EXPOSED SURFACES AFTER INSTALLATION OF CASEWORK AND MILLWORK.

NOTE P4- DOWNSPOUT, TYP.

NOTE P5- COORDINATE SIZE & LOCATION OF TV WITH OWNER.

NOTE P6- 2 X 6 STUD WALL FRAMING.

NOTE P7- ENGINEERED LVL BEAM (DRYWALL FINISH).

NOTE P8- 6 X 6 PPT POST WITH FURRING AND WOOD WRAP.

NOTE P9- HOSE BIB, FROST PROOF.

NOTE P10- ELECTRIC FIREPLACE.

NOTE P11- HVAC RETURN CHASE (TBD).

NOTE P12- 6 X 6 PPT POSTS WRAPPED WITH PVC.

NOTE P13- COMPOSITE WOOD DECKING, STEPS AND STRINGER FINISH BOARDS TO GRADE.

NOTE P14- RAISED CURB THRESHOLD.

NOTE P15- NOT USED.

NOTE P16- CABLE RAILING.

NOTE P17- TV AND BRACKET BY OWNER.

NOTE P18- OUTDOOR KITCHEN APPLIANCES, BY OWNER (NIC).

NOTE P19- OUTDOOR HVAC EQUIPMENT AND FIBERGLASS PAD.

NOTE P20- REFRIGERATOR WITH WATER LINE.

NOTE P21- LAUNDRY CHUTE OPENING IN WALL AT FLOOR LEVEL 1'-6" W X 2'-4" H. TRIM OPENING JAMBS & HEAD WITH 1 X MDF BOARDS, PAINTED.

NOTE P22- MANUAL RETRACTABLE SCREEN SYSTEM MOUNTED TO INTERIOR SIDE OF BI-FOLDING DOORS. STORAGE HOUSING AT THIS JAMB OF THE OPENING.

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1st FLOOR PLAN

A-101

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ROOF & ATTIC PLAN

A-102

ROOF PLAN NOTES:

NOTE R1: GUTTER & DOWNSPOUT, AS INDICATED. ALIGN OUTLET AND DS WITH CORNER BOARD OF HOUSE/COLUMN, TYP UNLESS NOTED OTHERWISE.

NOTE R2: RIDGE VENT, TYP.

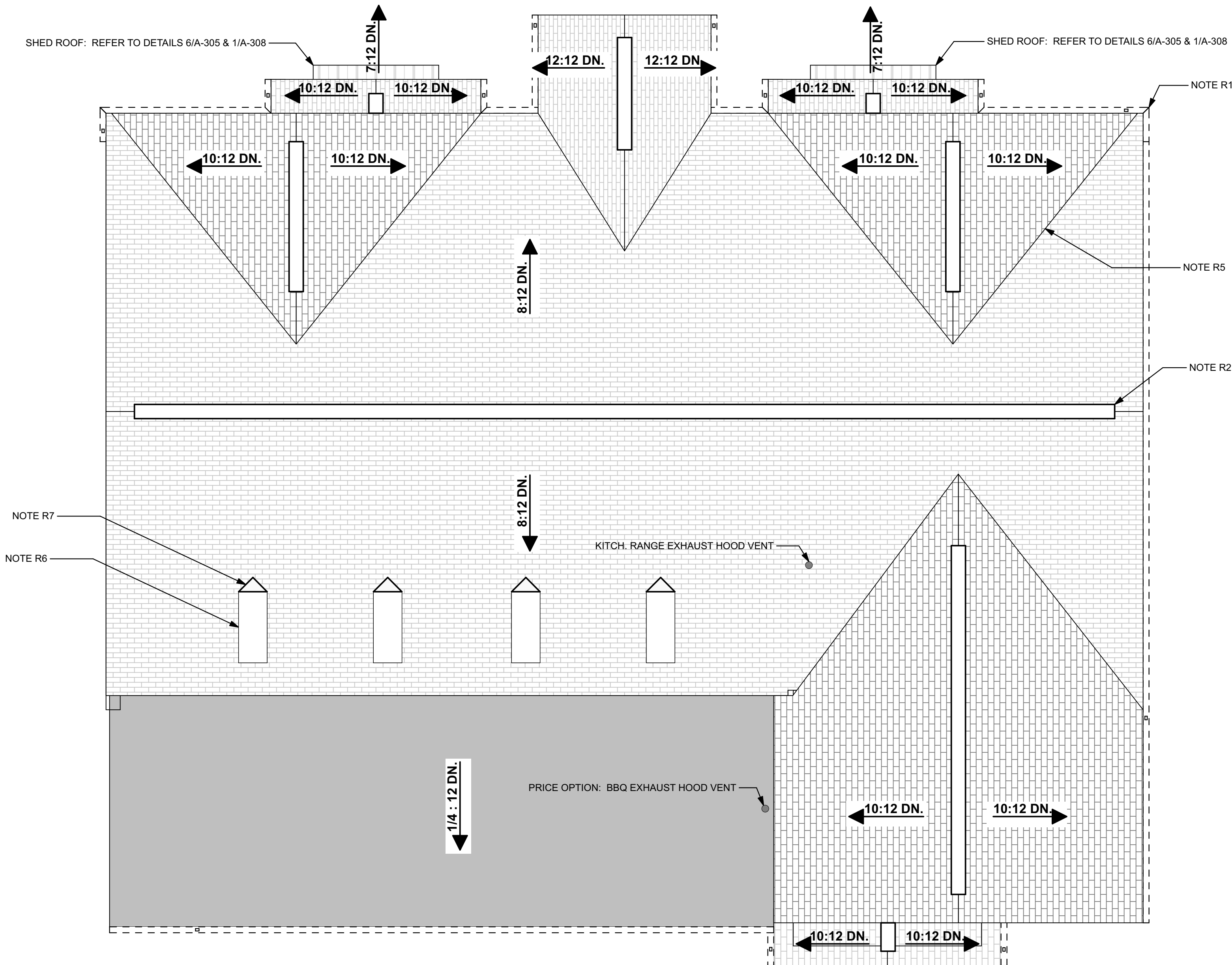
NOTE R3: GAS VENT - COORDINATE LOCATIONS.

NOTE R4: PASSIVE RADON VENTING SYSTEM.

NOTE R5: VALLEY, TYP.

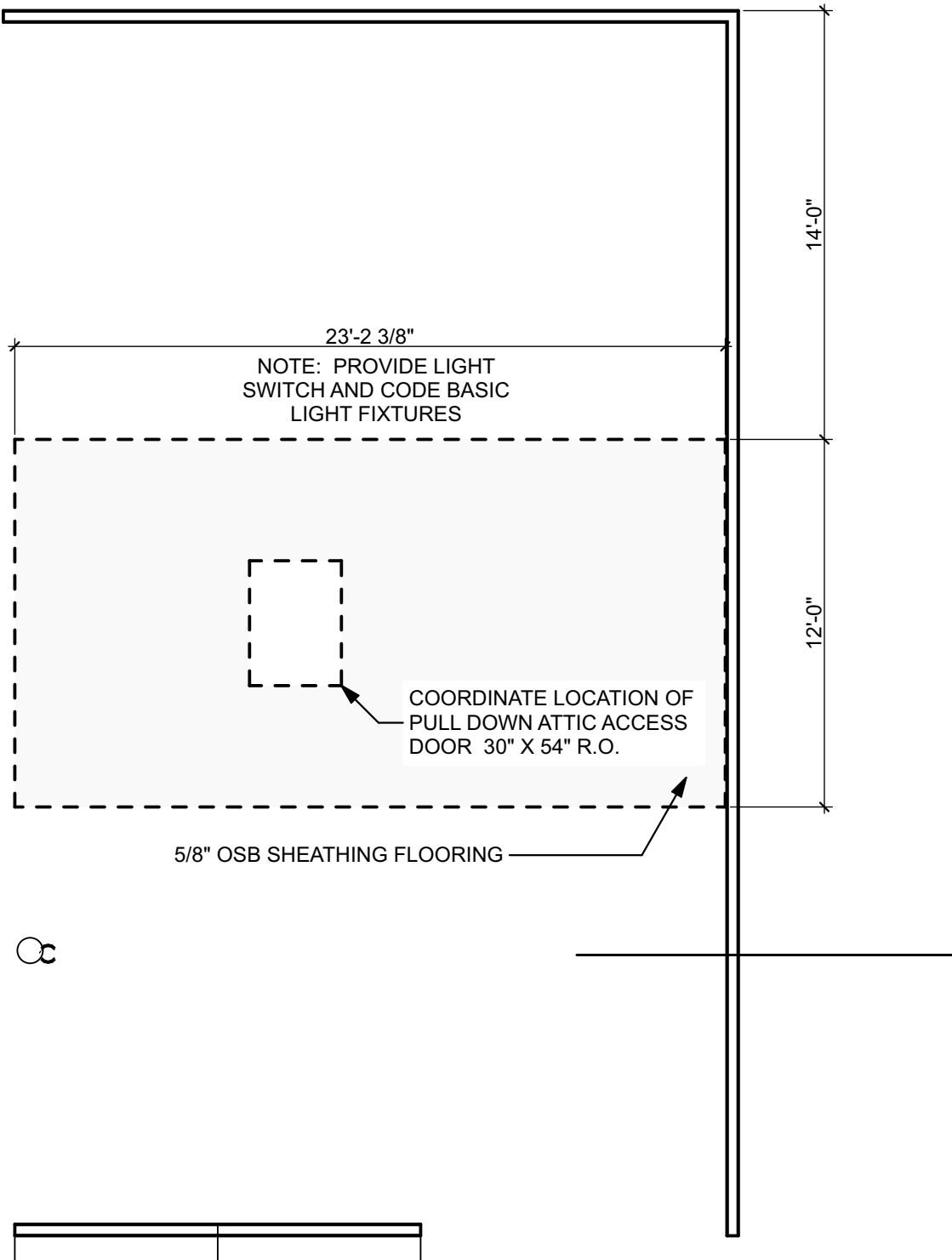
NOTE R6: SKYLIGHT, TYP.

NOTE R7: FLASHING/CRICKET, TYP.



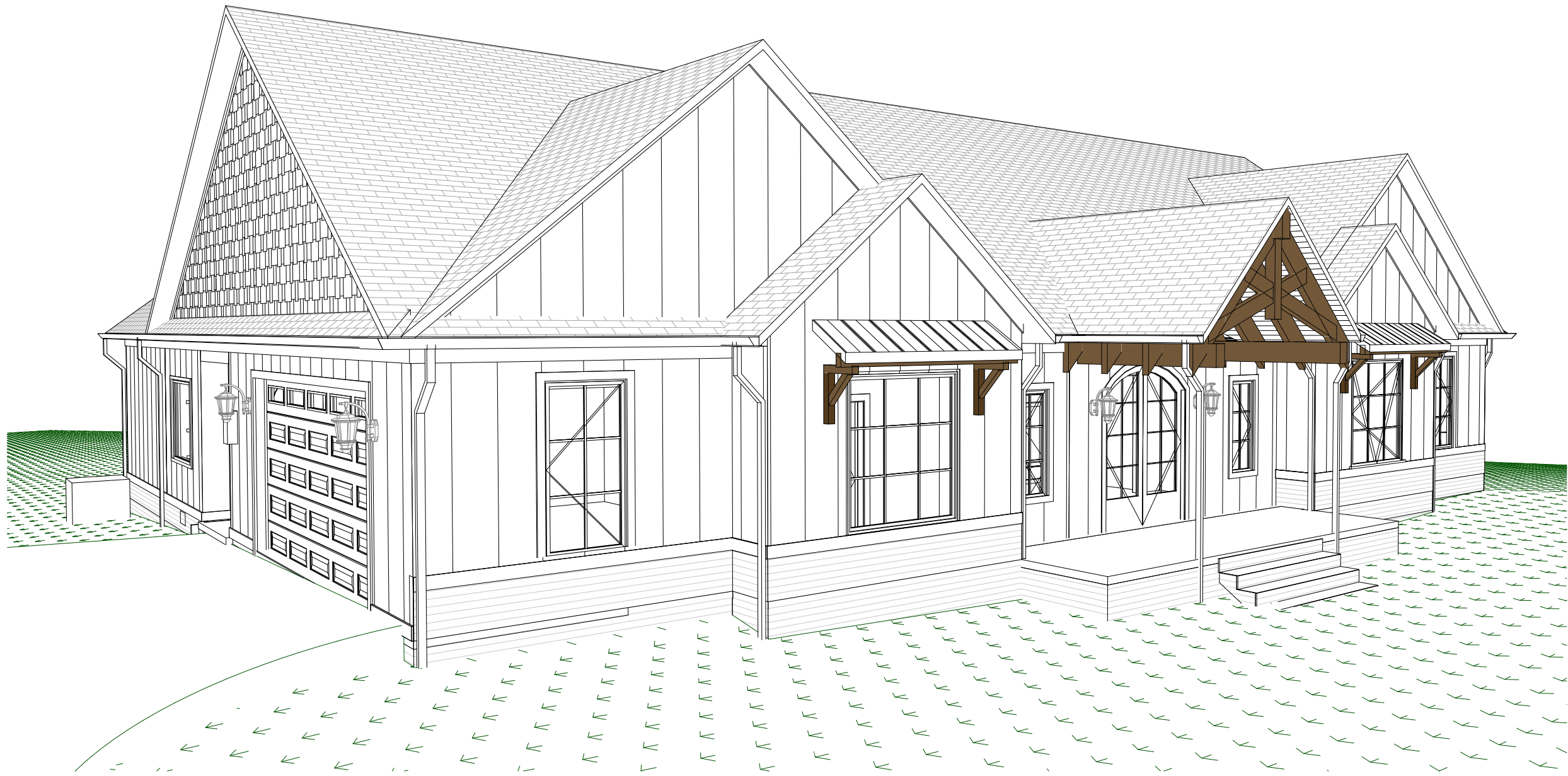
1 ROOF PLAN

SCALE: 3/16" = 1'-0"



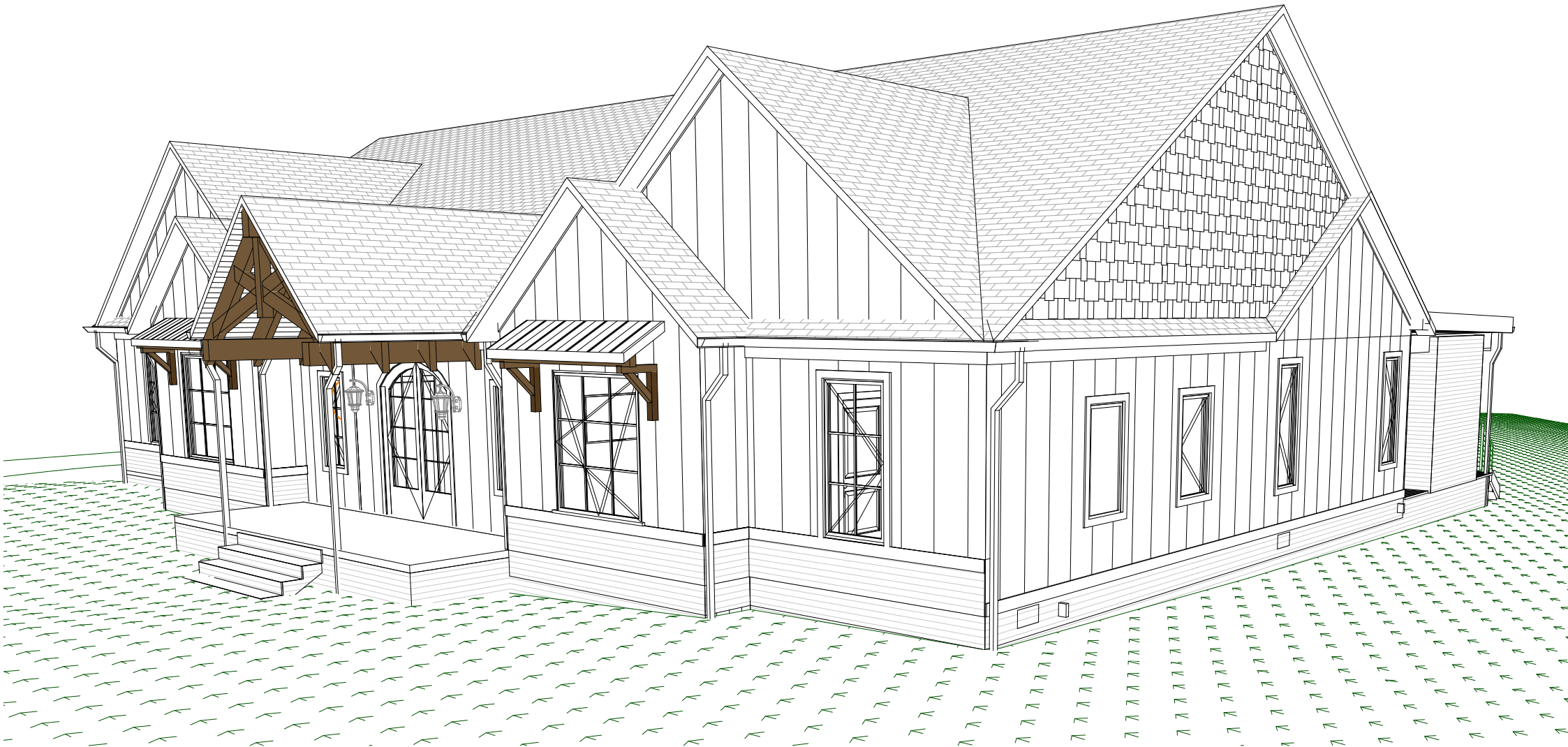
3 ATTIC LEVEL

SCALE: 3/16" = 1'-0"



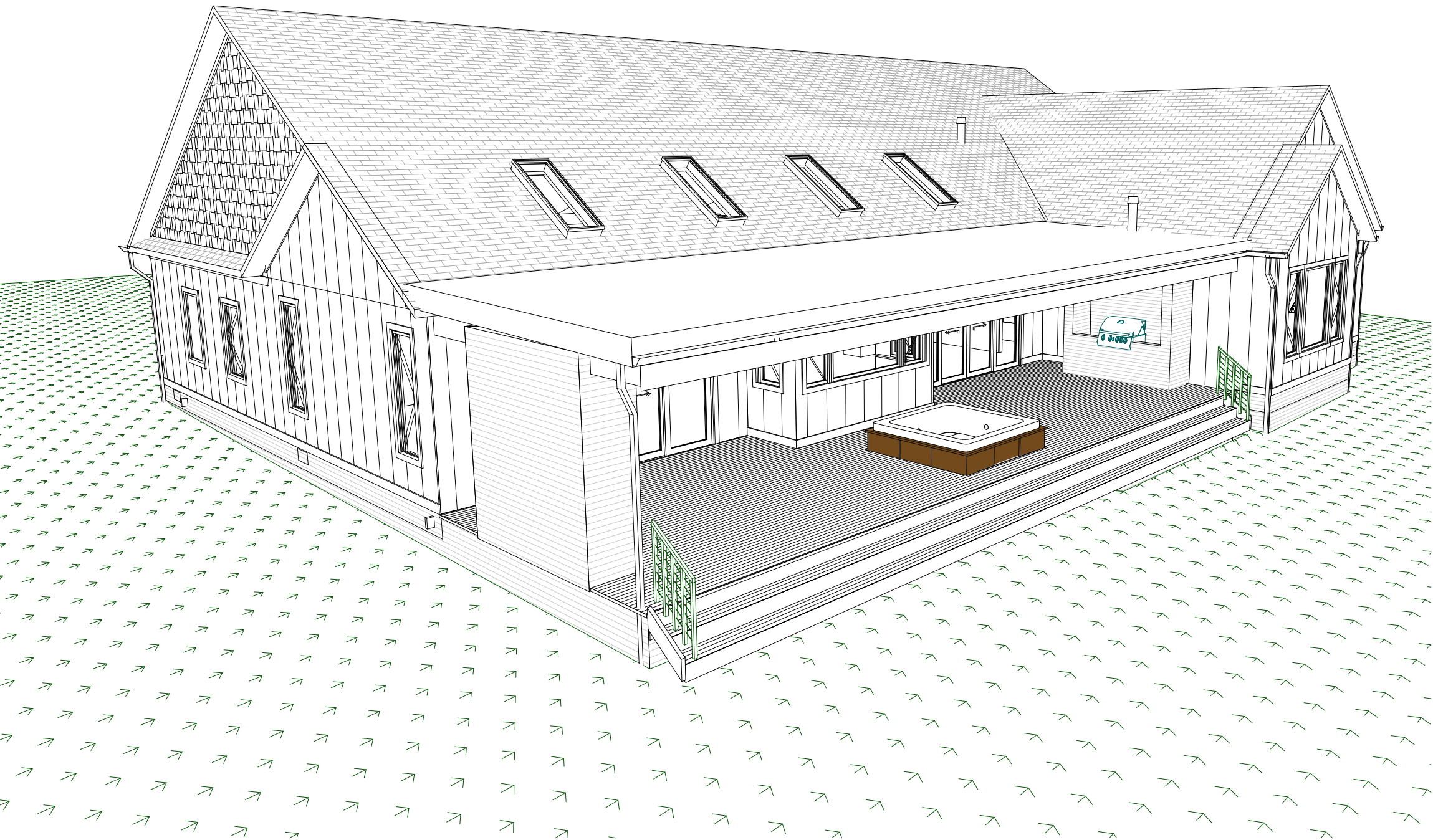
LEFT FRONT VIEW

1/8" = 1'-0"



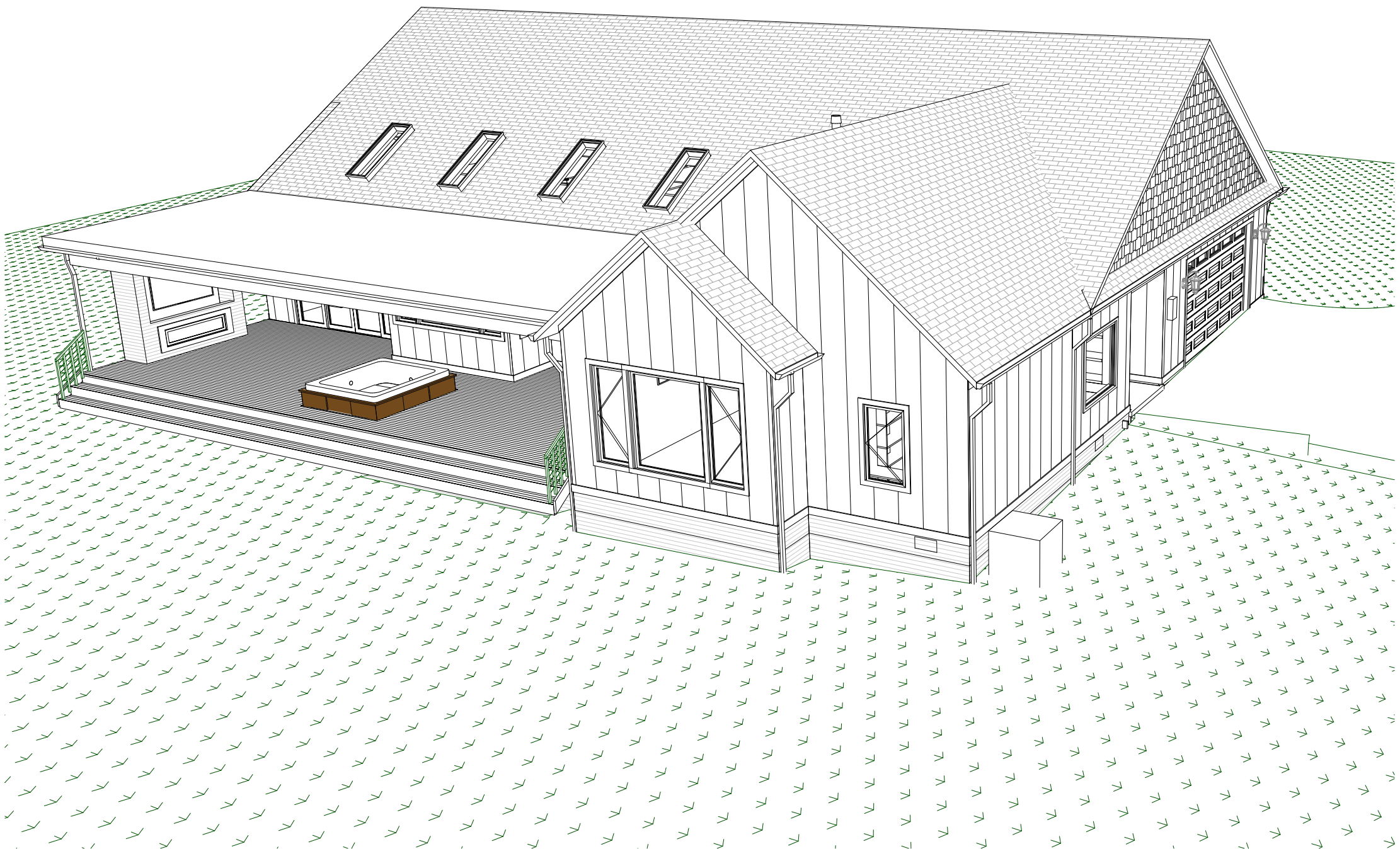
RIGHT FRONT VIEW

1/8" = 1'-0"



LEFT BACK VIEW

1:106.67



RIGHT BACK VIEW

1:80

NOTE:
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DETAILS.

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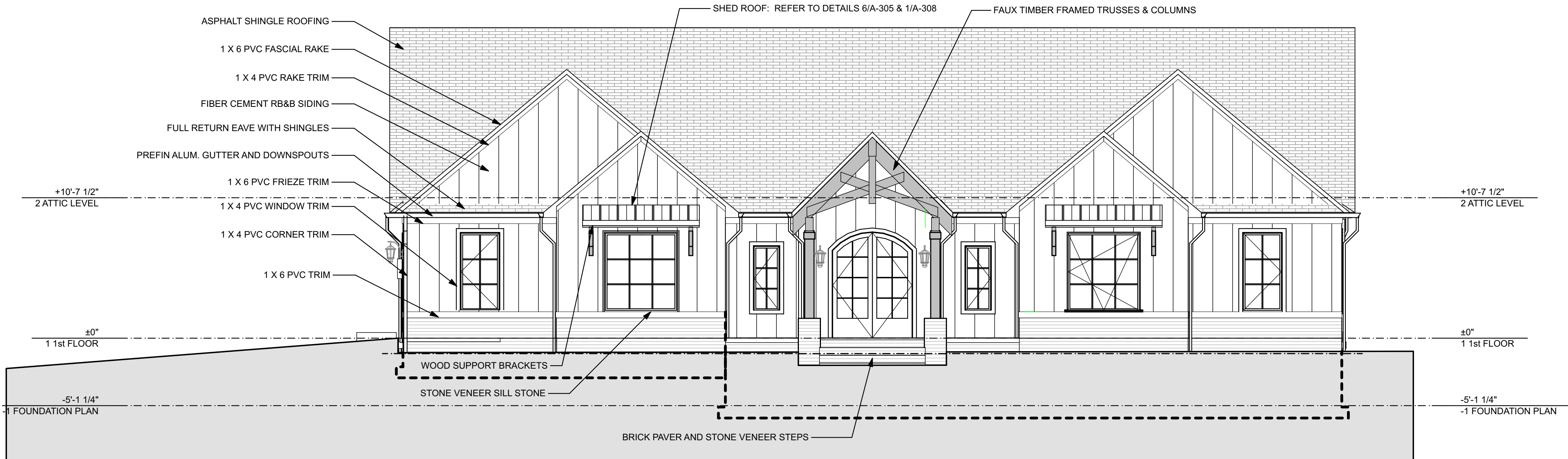
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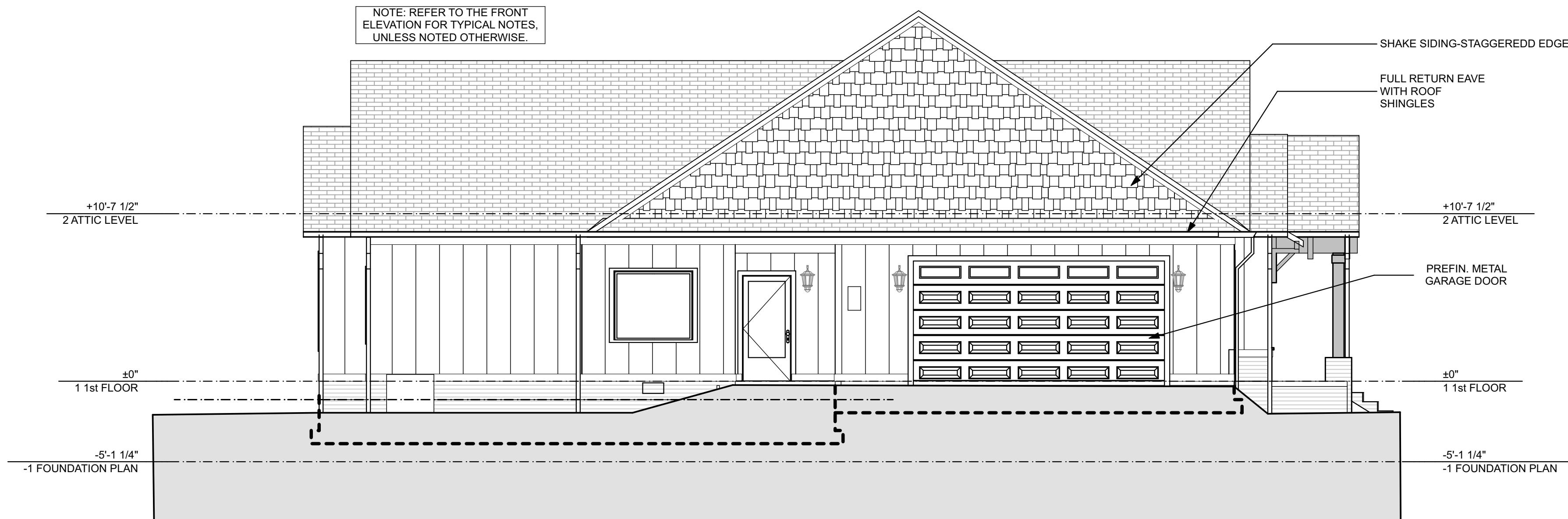
3D VIEWS

A-200

Print Date: Tuesday, May 25, 2021 4:37 PM



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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ELEVATIONS

A-201

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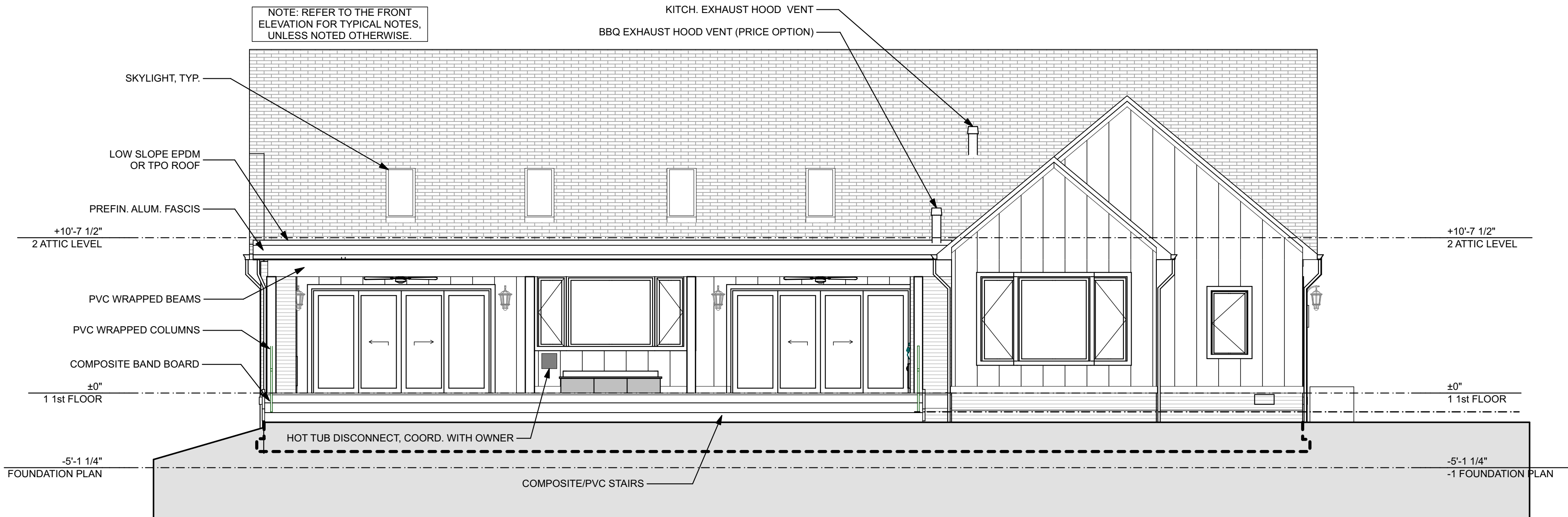
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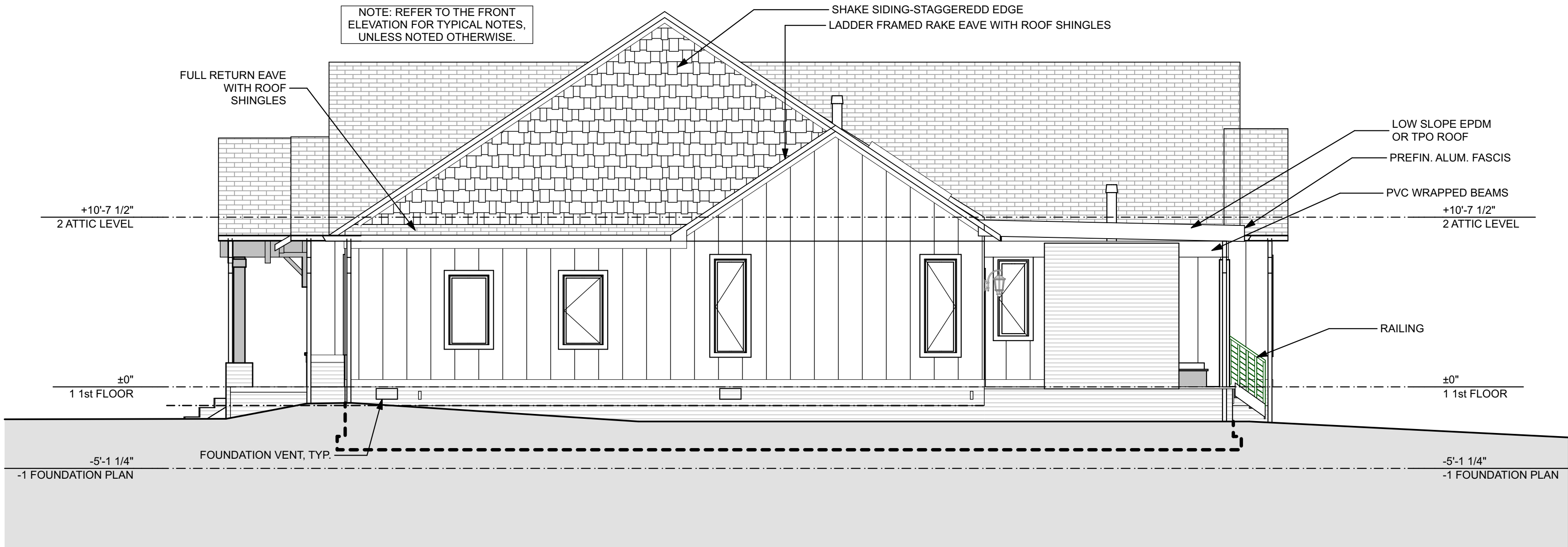
ELEVATIONS

A-202



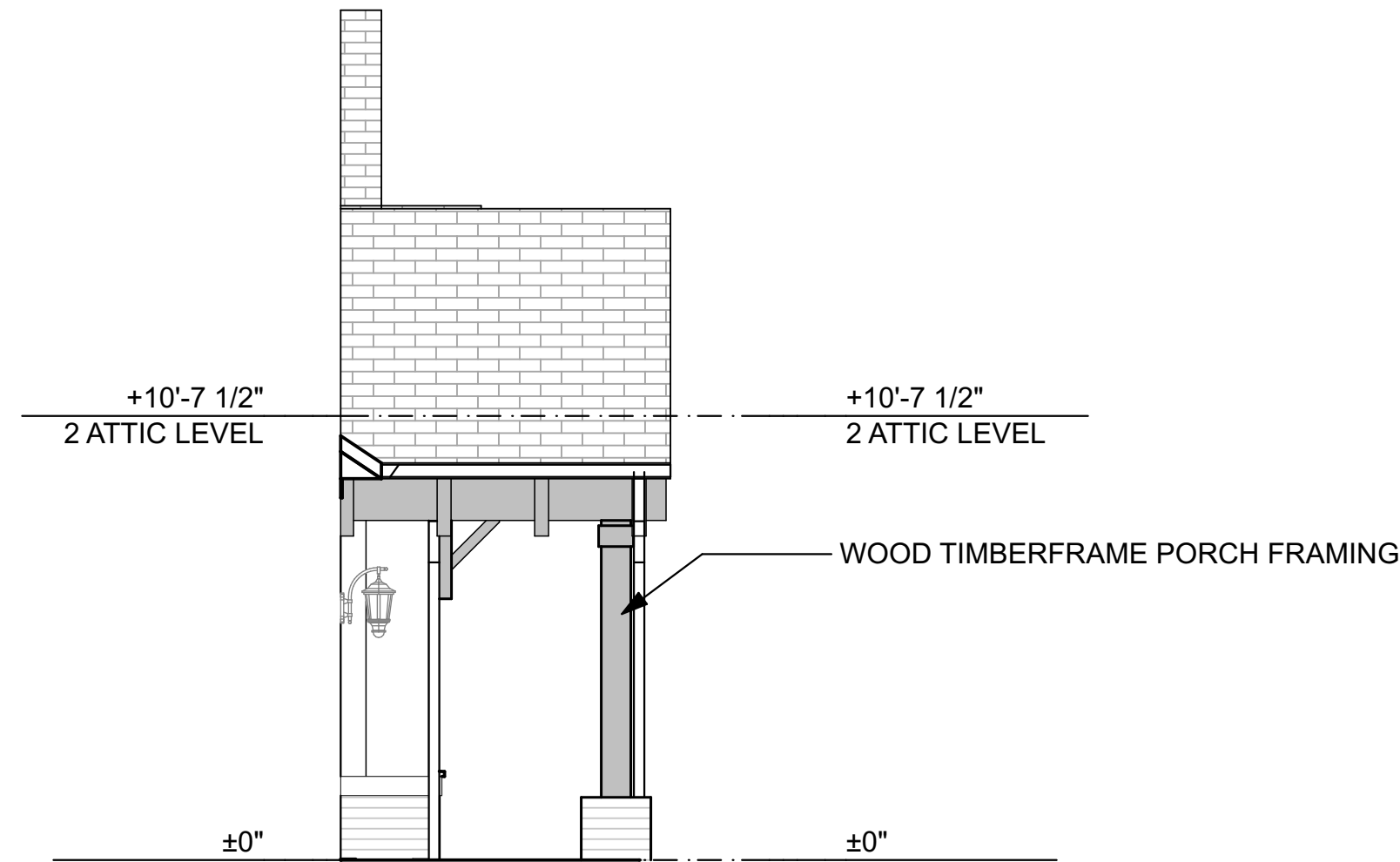
1 REAR ELEVATION

SCALE: 3/16" = 1'-0"

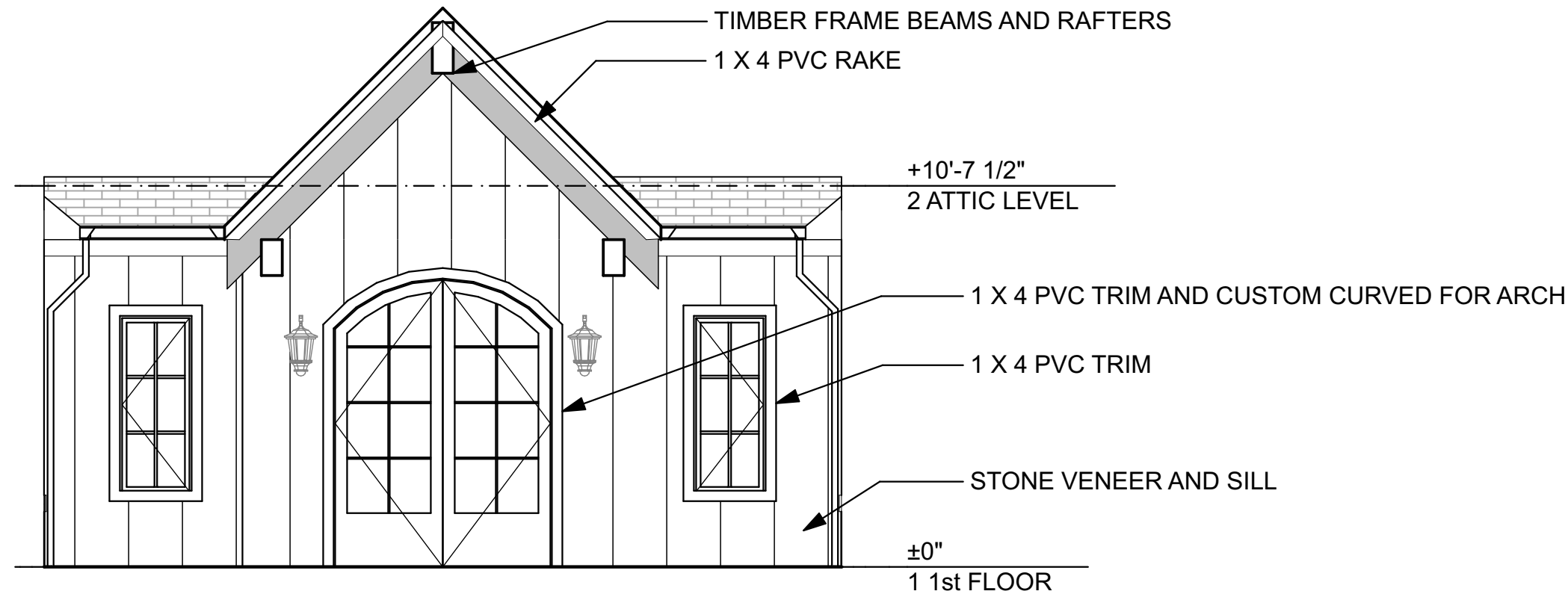


2 RIGHT ELEVATION

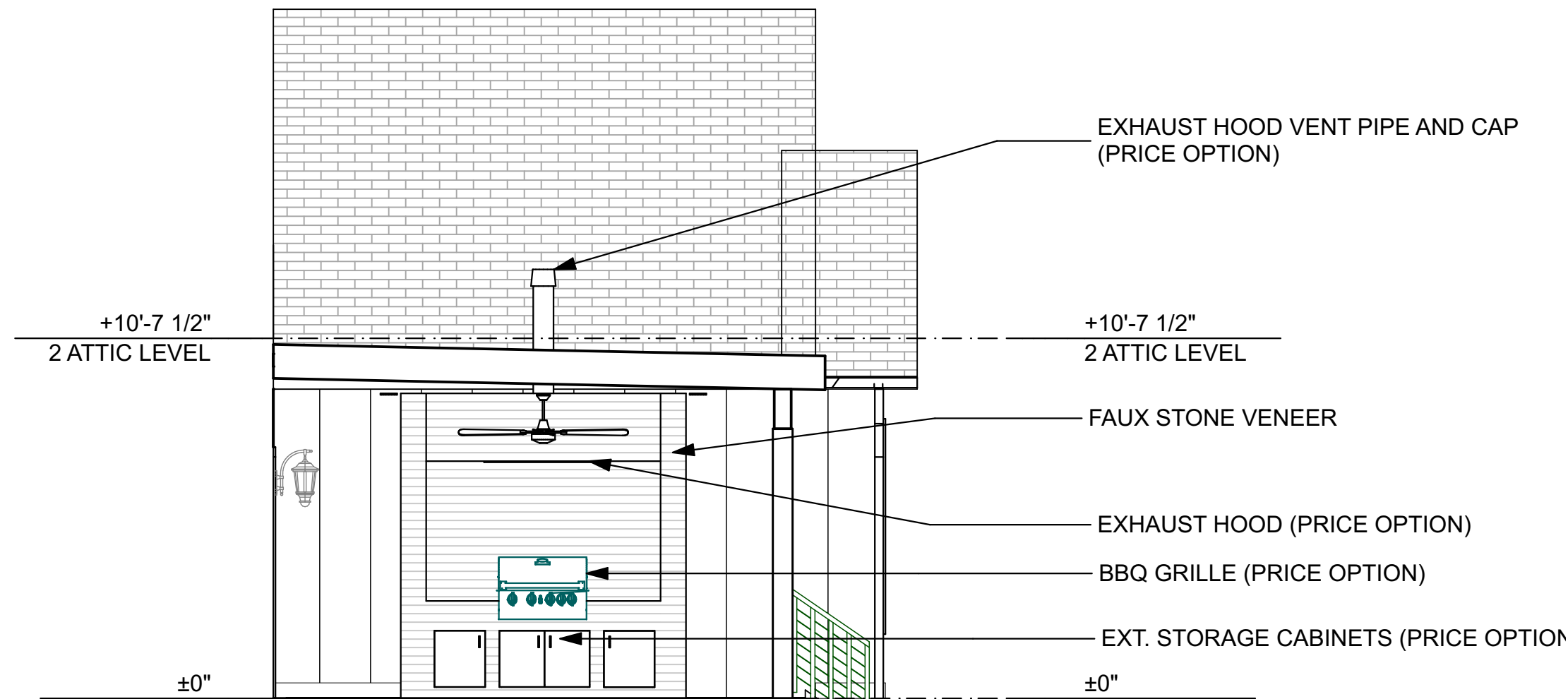
SCALE: 3/16" = 1'-0"



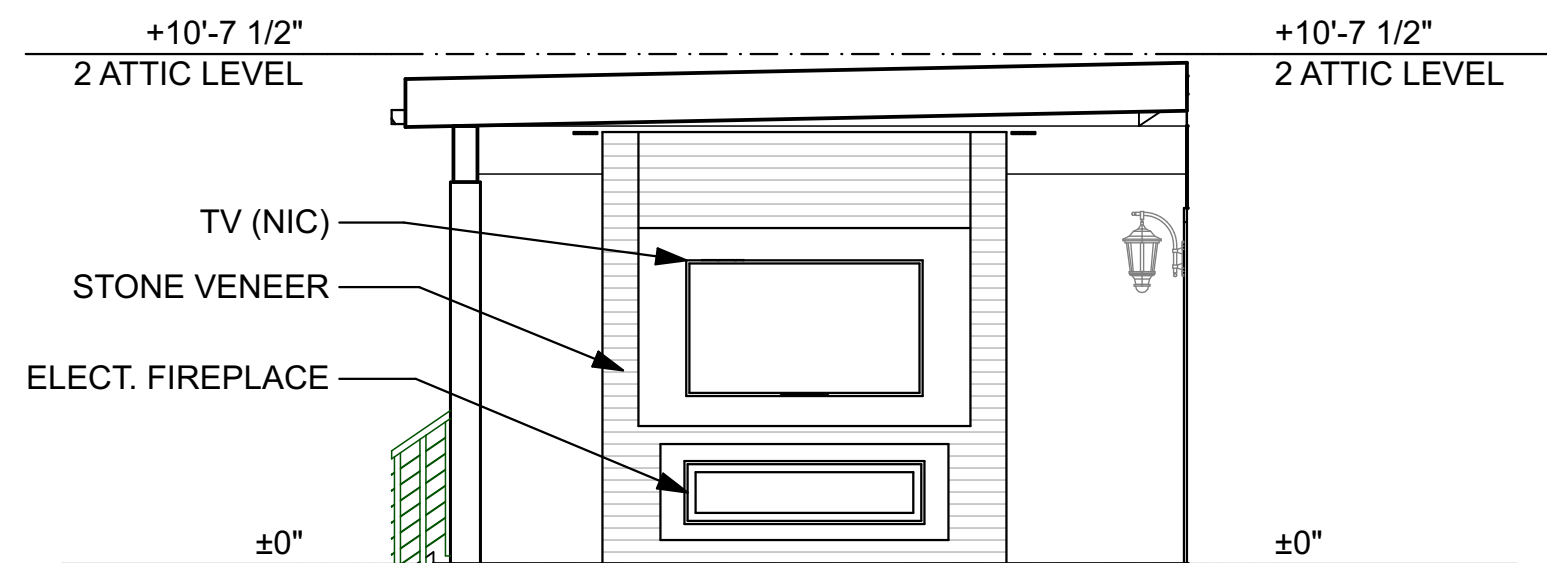
1 FRONT PORCH SIDE ELEVATION
A-203 SCALE: 1/4" = 1'-0"



4 FRONT PORCH ELEVATION
A-203 SCALE: 1/4" = 1'-0"



3 DECK BBQ GRILLE
A-203 SCALE: 1/4" = 1'-0"



2 DECK TV-FIREPLACE CENTER
A-203 SCALE: 1/4" = 1'-0"

THE RASMUSSEN RESIDENCE

129-(A)-L84 MT OLIVET
CHURCH RD
MCGAHEYSVILLE VA 22840



P.O. BOX 310
HARRISONBURG, VA 22803

WWW.THESTRATFORDCOMPANIES.COM

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Contact: MATTHEW ROBERTSON
(540) 421-7518

mrobertson@thestratfordcompanies.com

Class A Contractor # 2705-106037A

Certified Landscape Architect #0406-000897

REV. DATE COMMENTS

-	-	-
-	-	-

MAY 25, 2021

CONSTRUCTION DOCUMENTS

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ELEVATIONS

A-203

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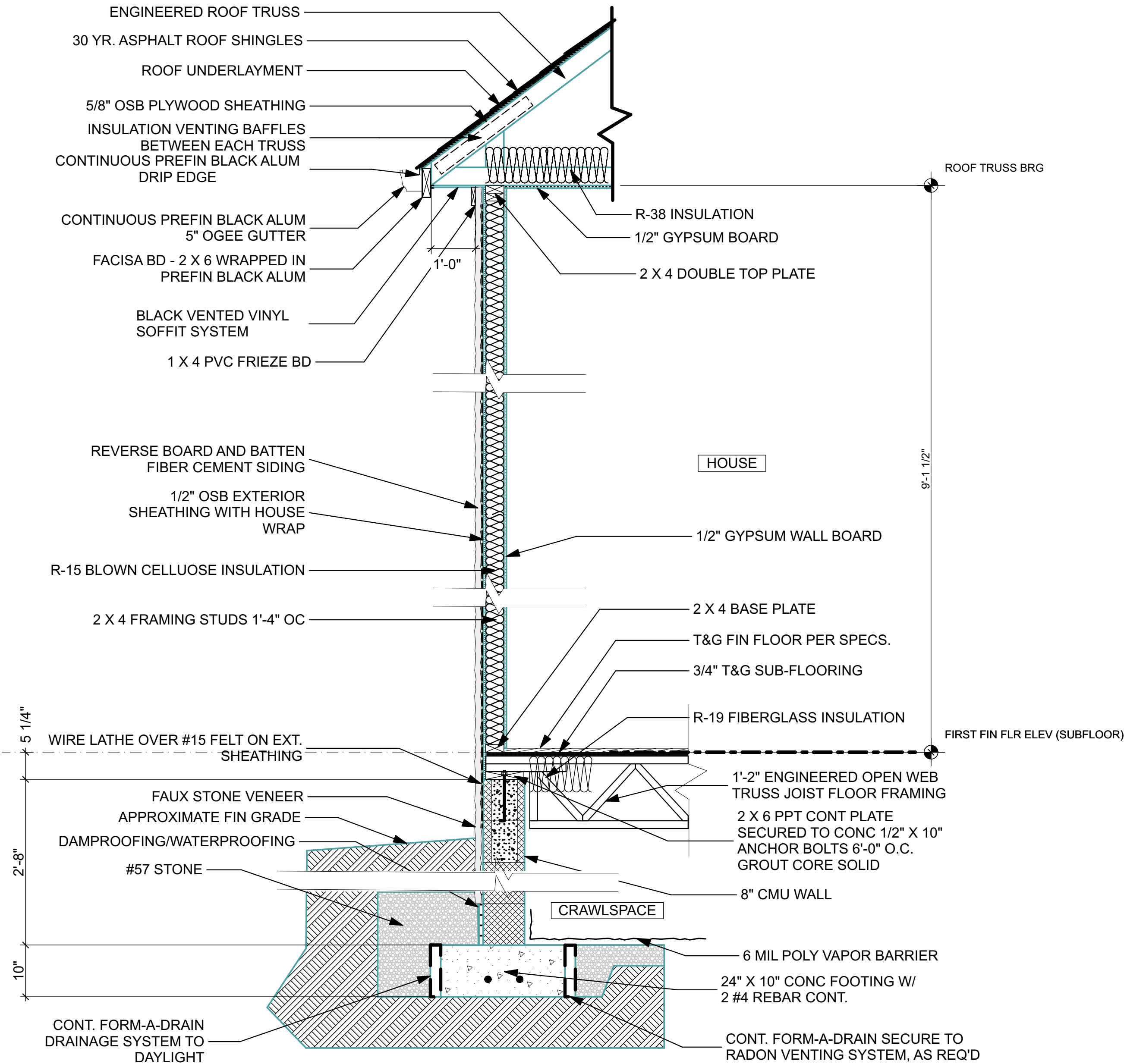
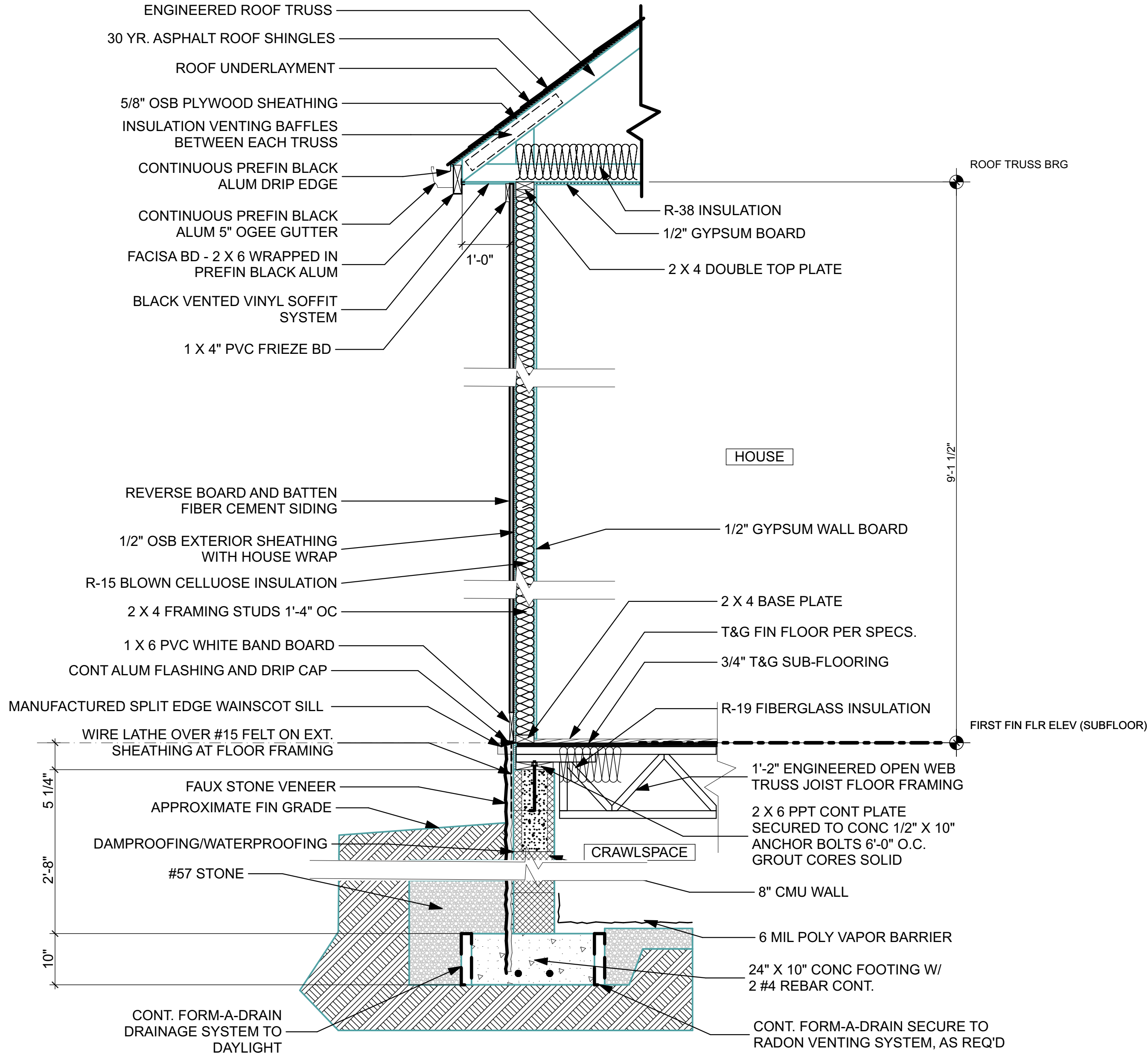
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SHEET TITLE

TYPICAL SECTIONS

A-301

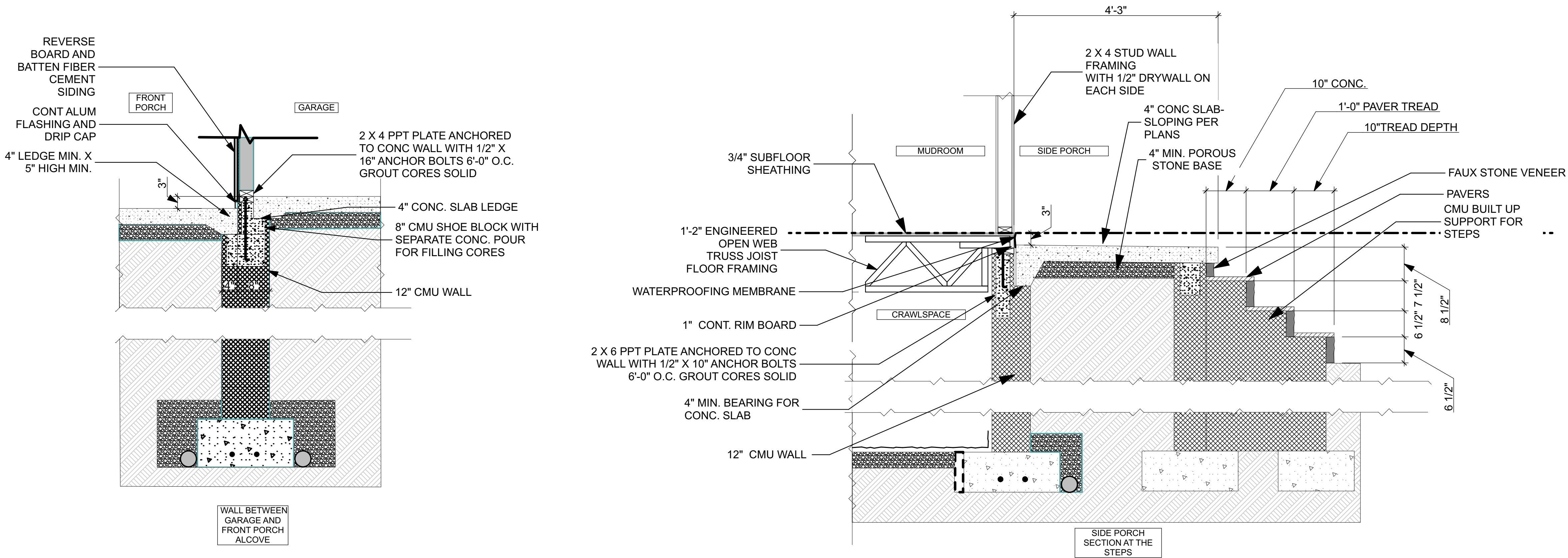


1 TYPICAL SECTION - HOUSE SIDING

SCALE: 3/4" = 1'-0"

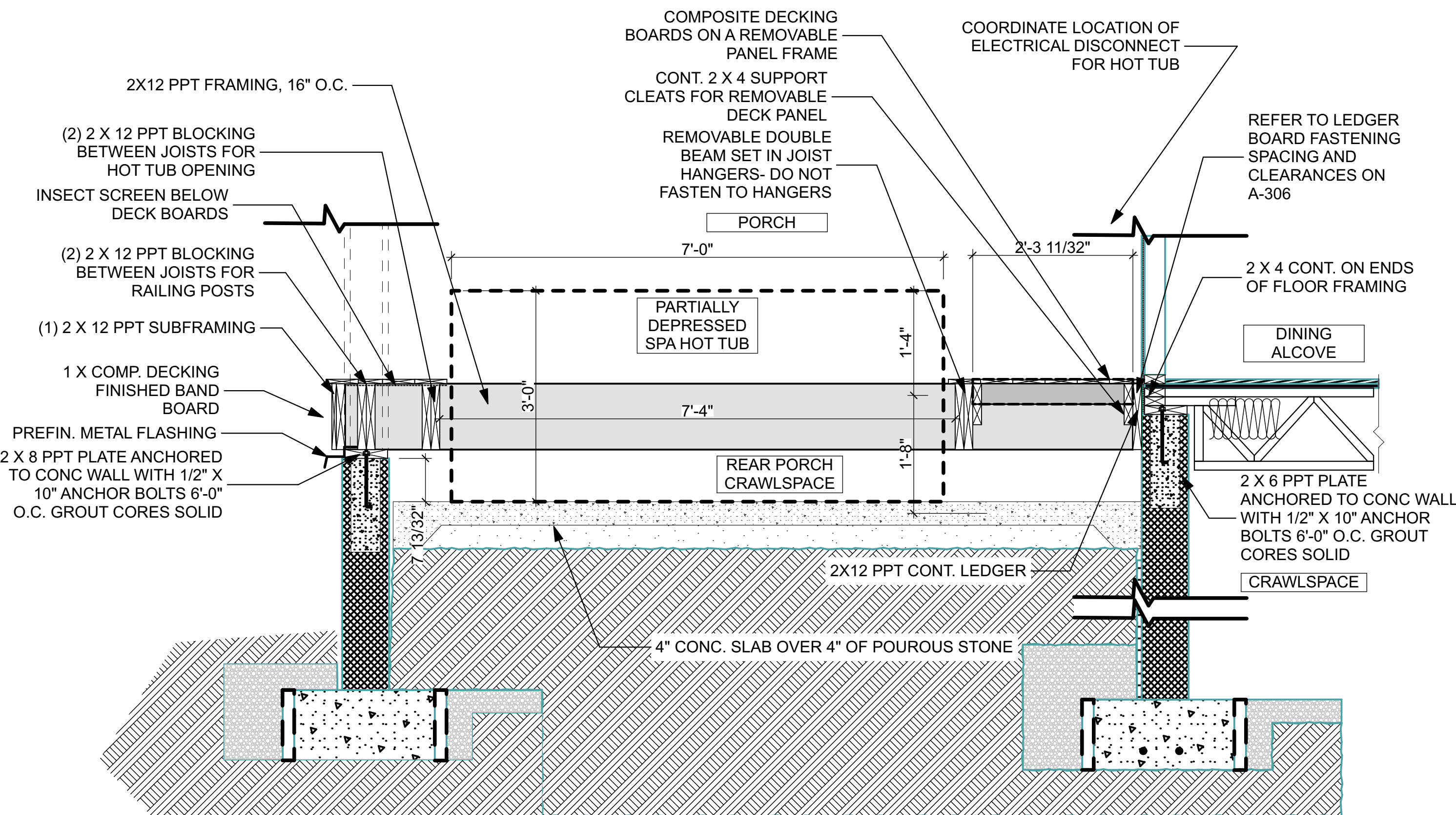
2 TYPICAL SECTION-HOUSE STONE VENEER

SCALE: 3/4" = 1'-0"



2 GARAGE SLAB SECTIONS
A-302 SCALE: 3/4" = 1'-0"

1 SECTION - SIDE PORCH
A-302 SCALE: 3/4" = 1'-0"



3 SECTION - REAR PORCH @ HOT TUB
A-302 SCALE: 3/4" = 1'-0"

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SHEET TITLE

SECTIONS

A-302

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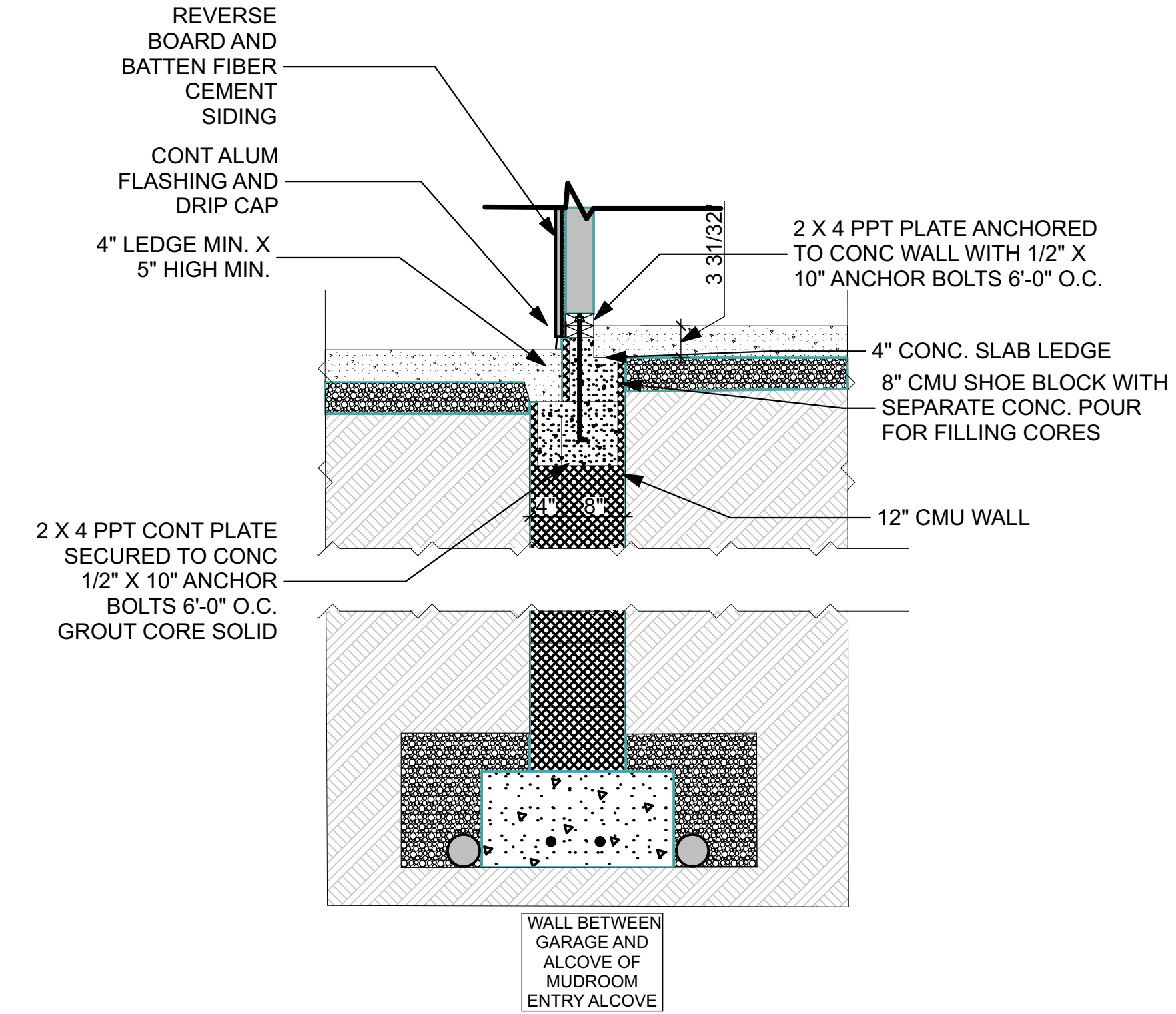
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SHEET TITLE

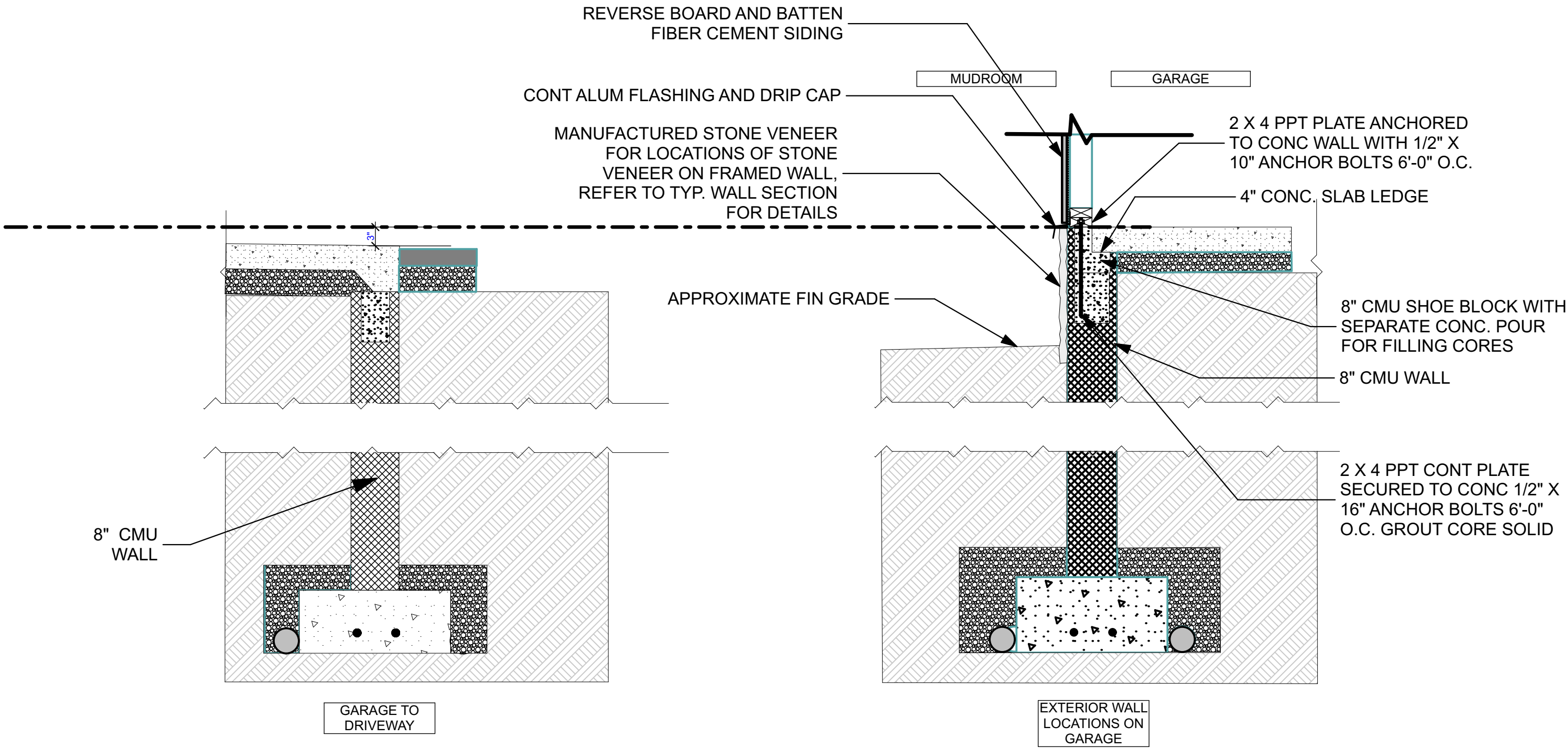
SECTIONS

A-303



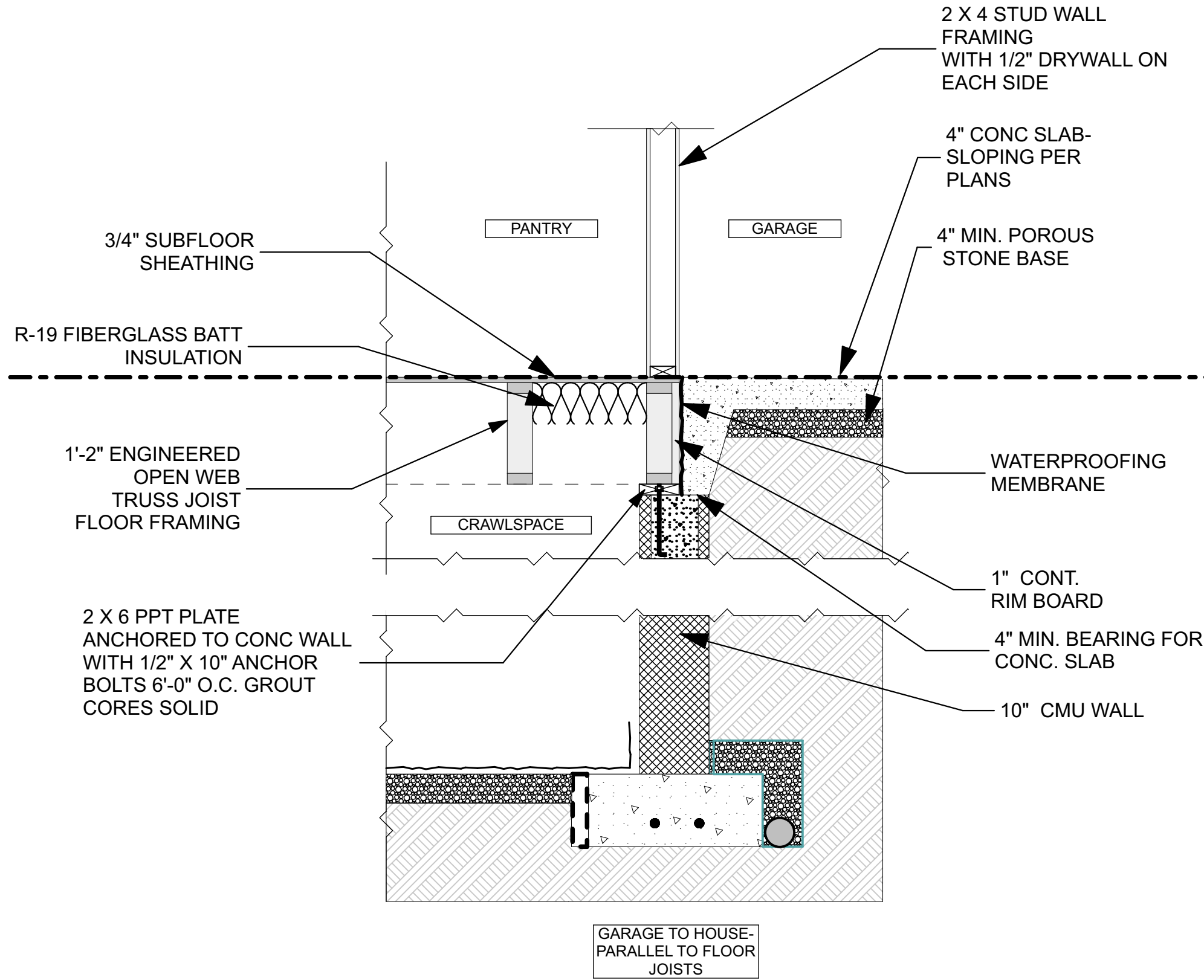
3 GARAGE SLAB SECTIONS

A-303 SCALE: 3/4" = 1'-0"



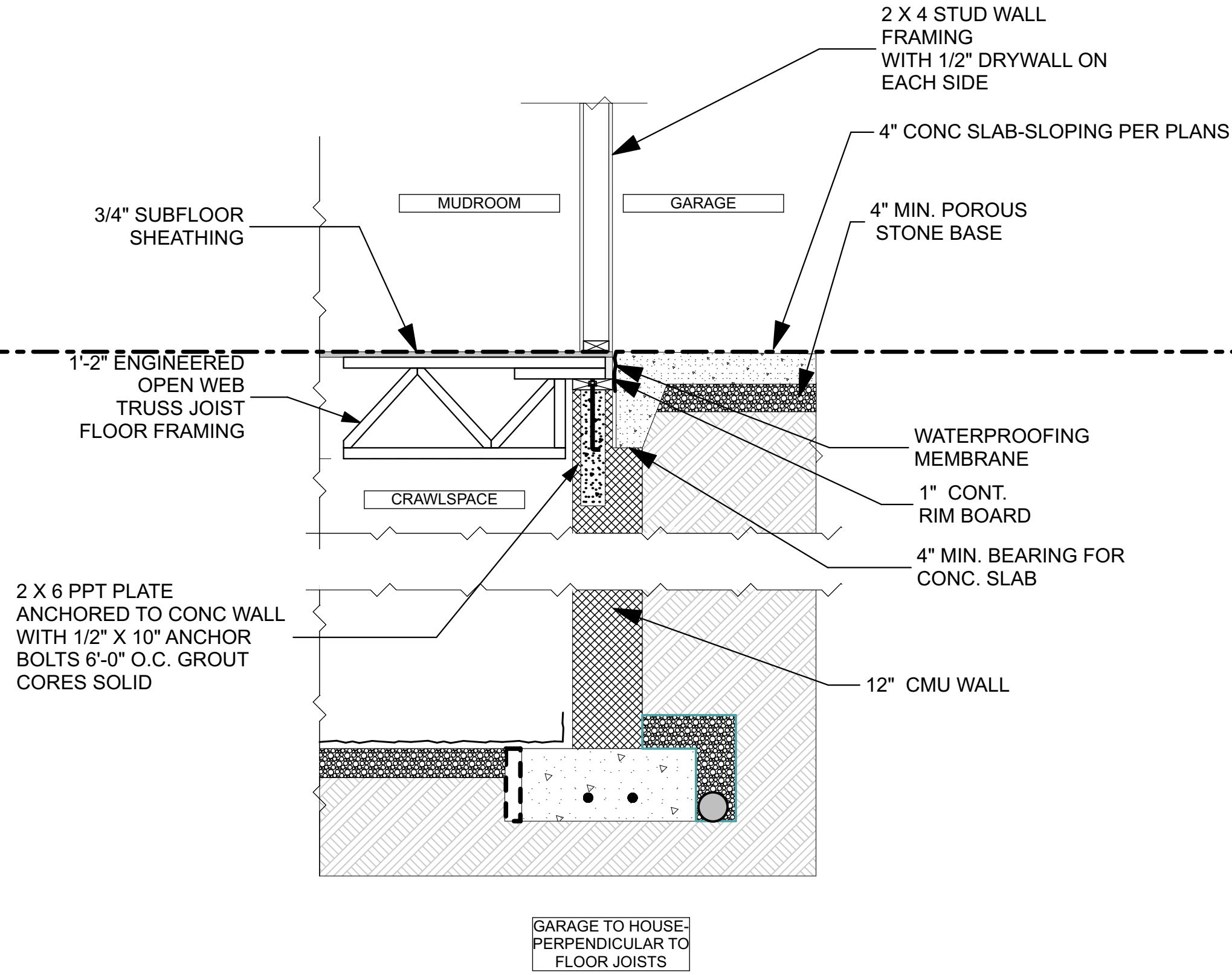
1 GARAGE SLAB SECTIONS

A-303 SCALE: 3/4" = 1'-0"



2 GARAGE SLAB SECTIONS

A-303 SCALE: 3/4" = 1'-0"



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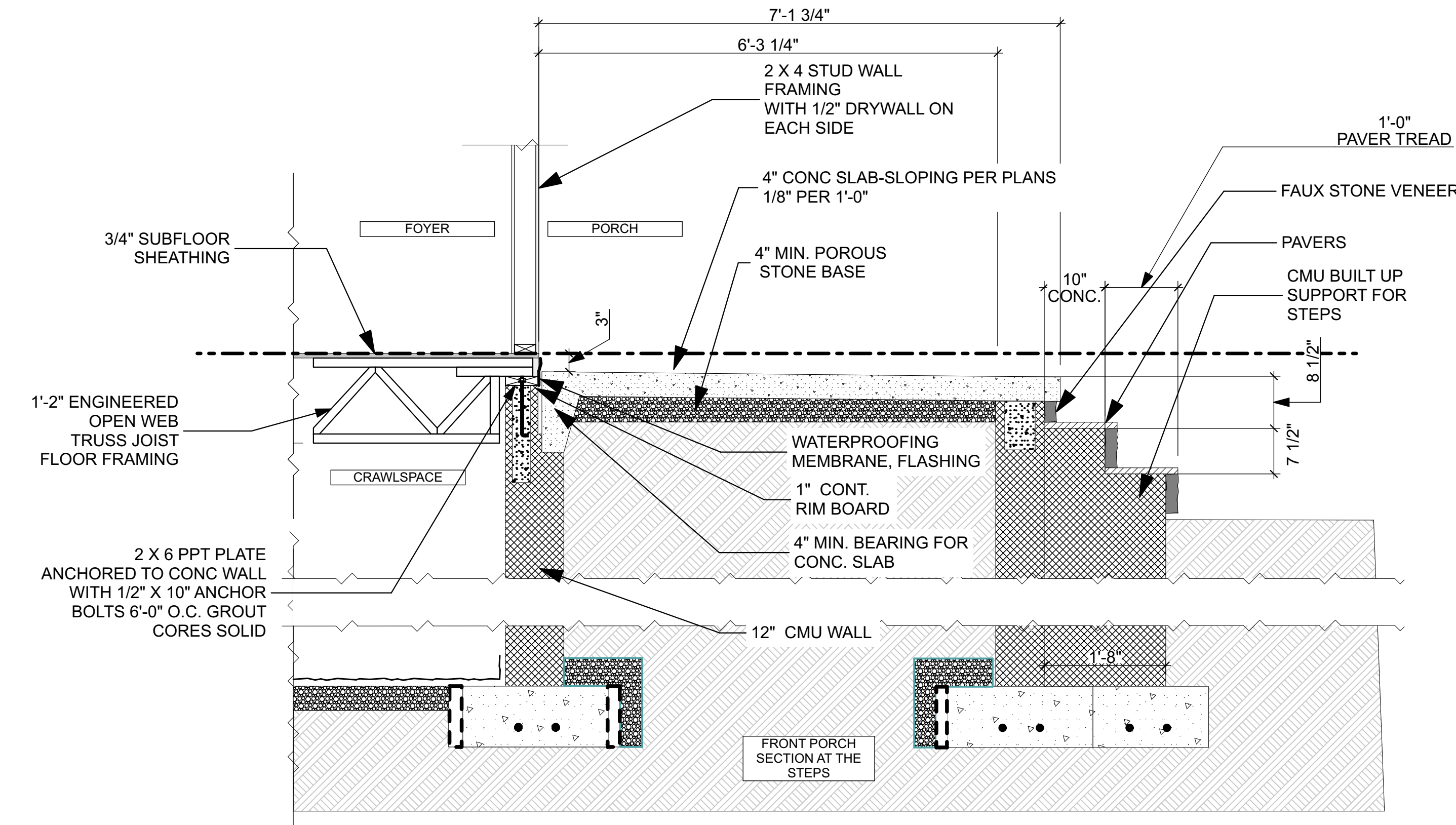
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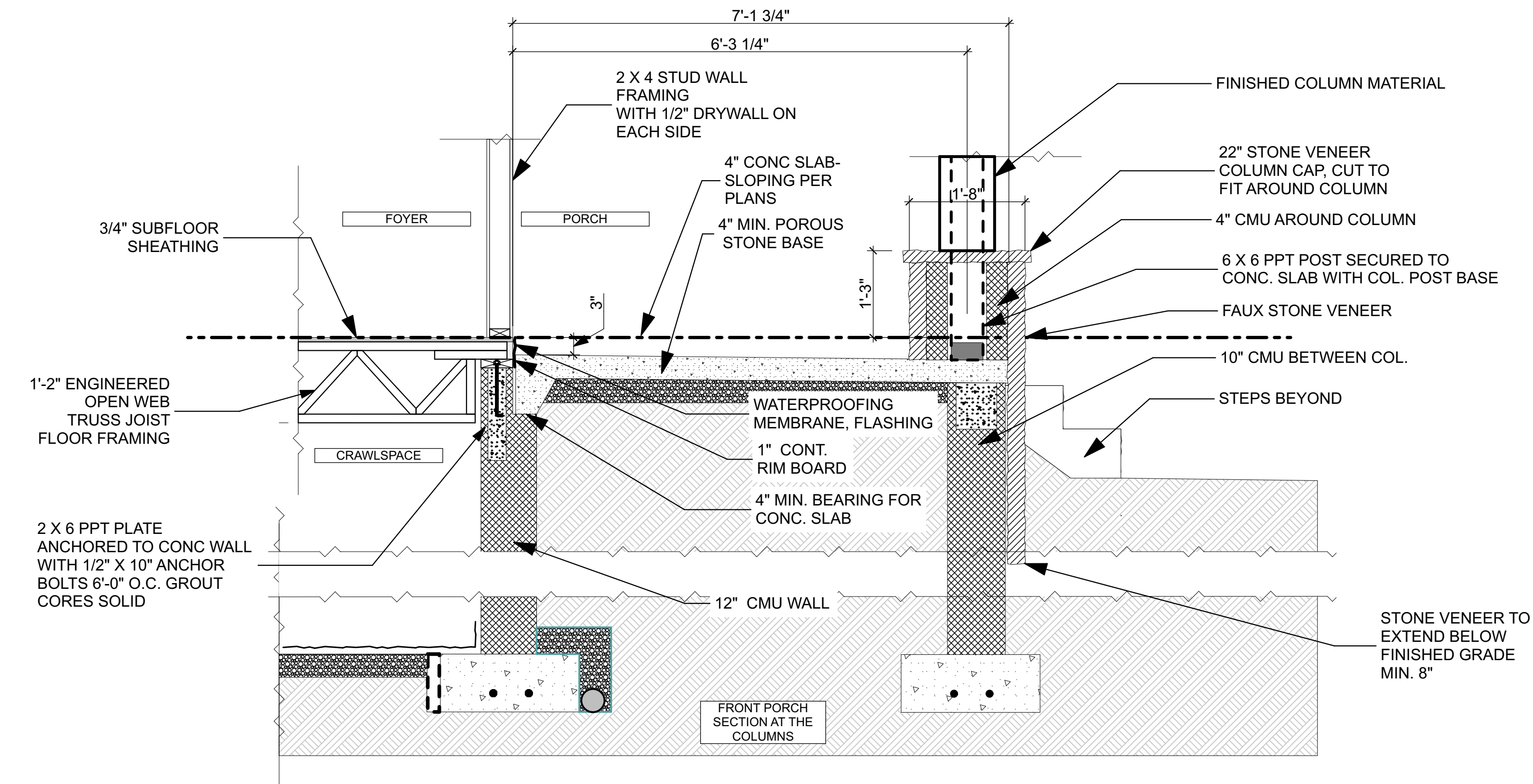
SECTIONS

A-304



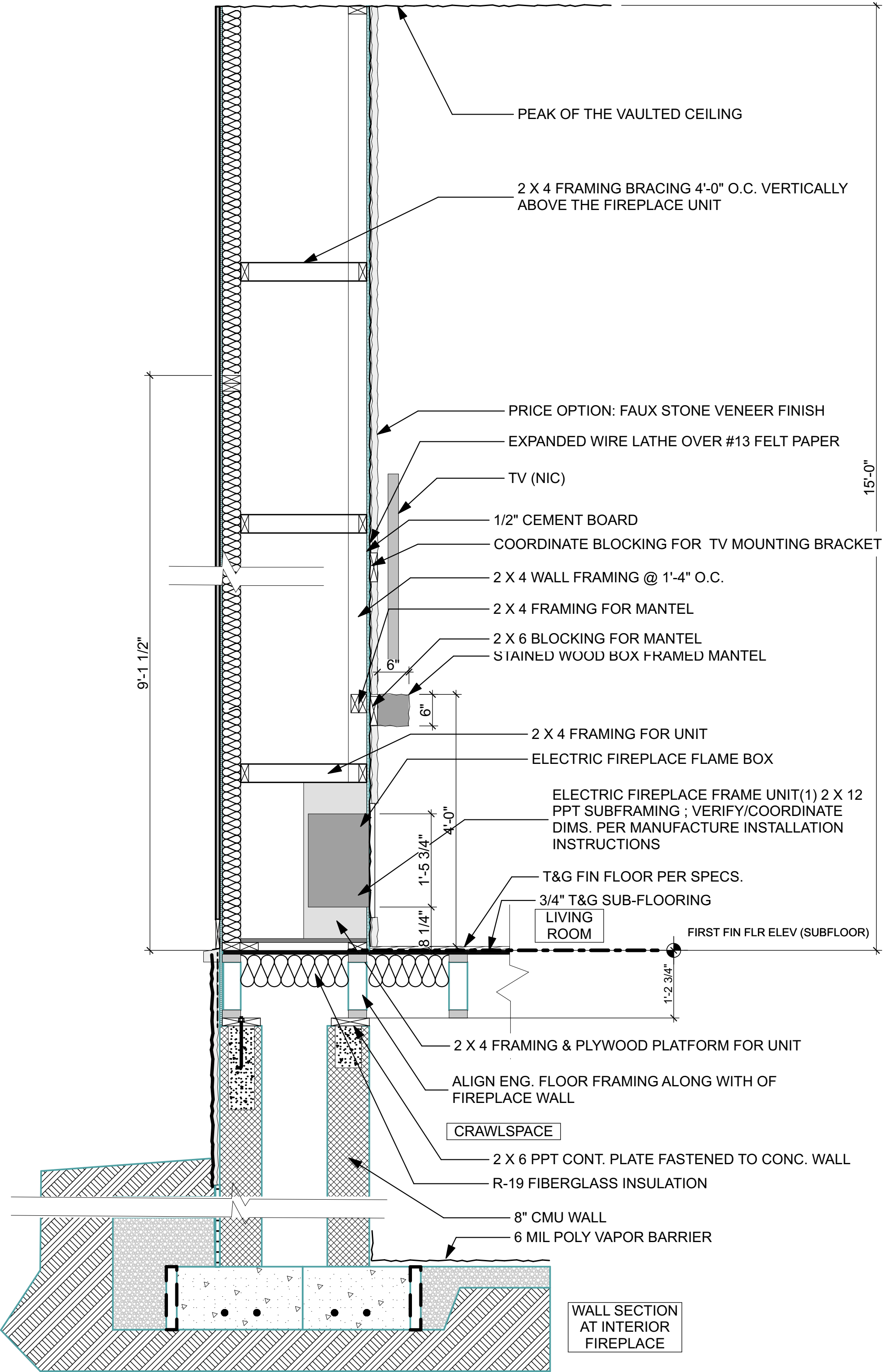
1 SECTION - PORCH @ STEPS

A-304 SCALE: 3/4" = 1'-0"



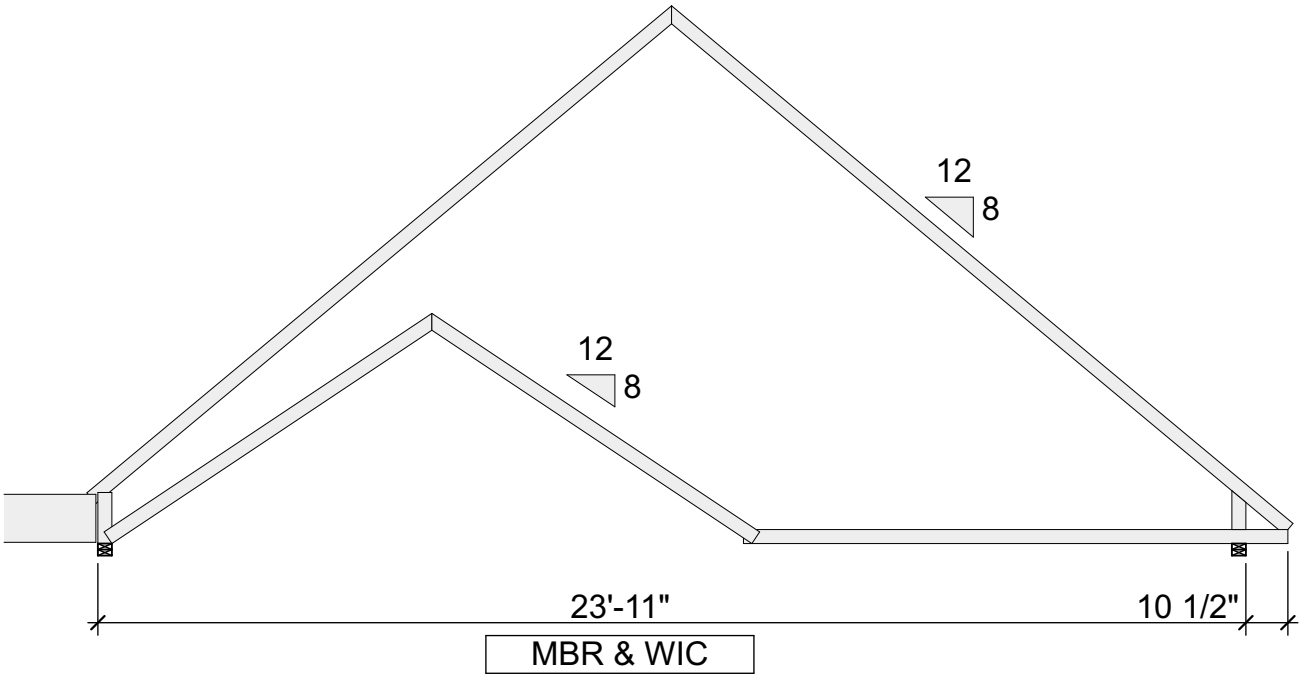
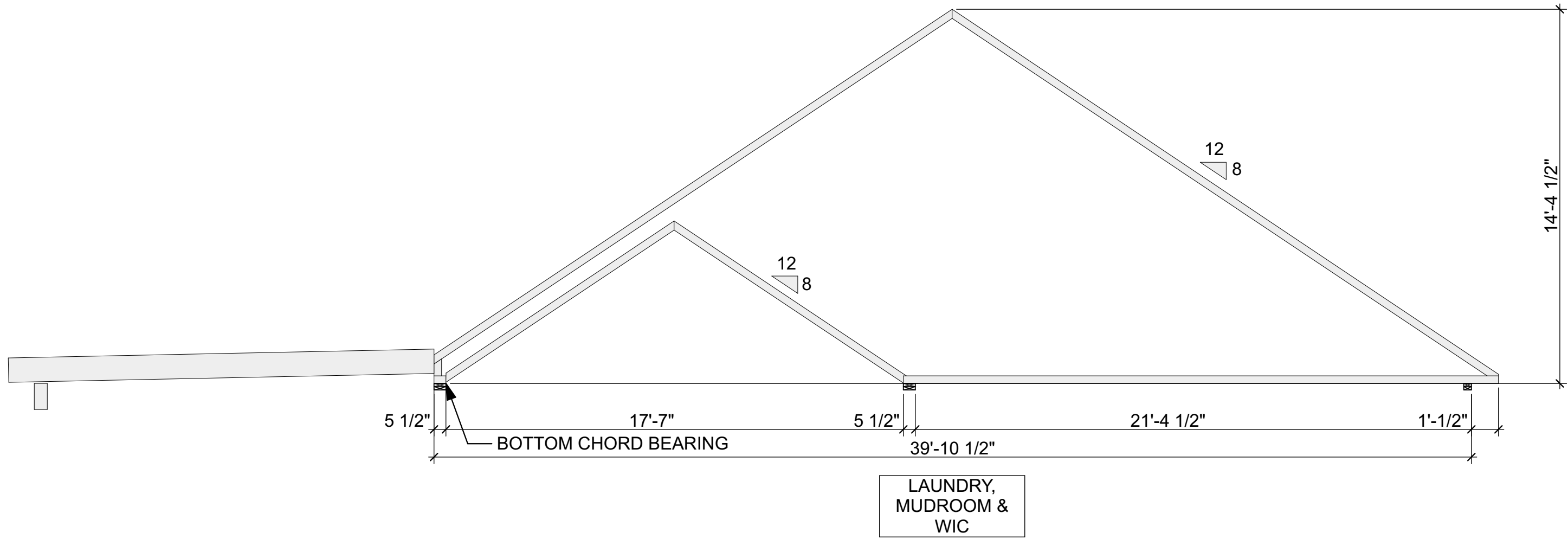
2 SECTION - PORCH @ COLUMNS

A-304 SCALE: 3/4" = 1'-0"



3 SECTION - INTERIOR FIREPLACE

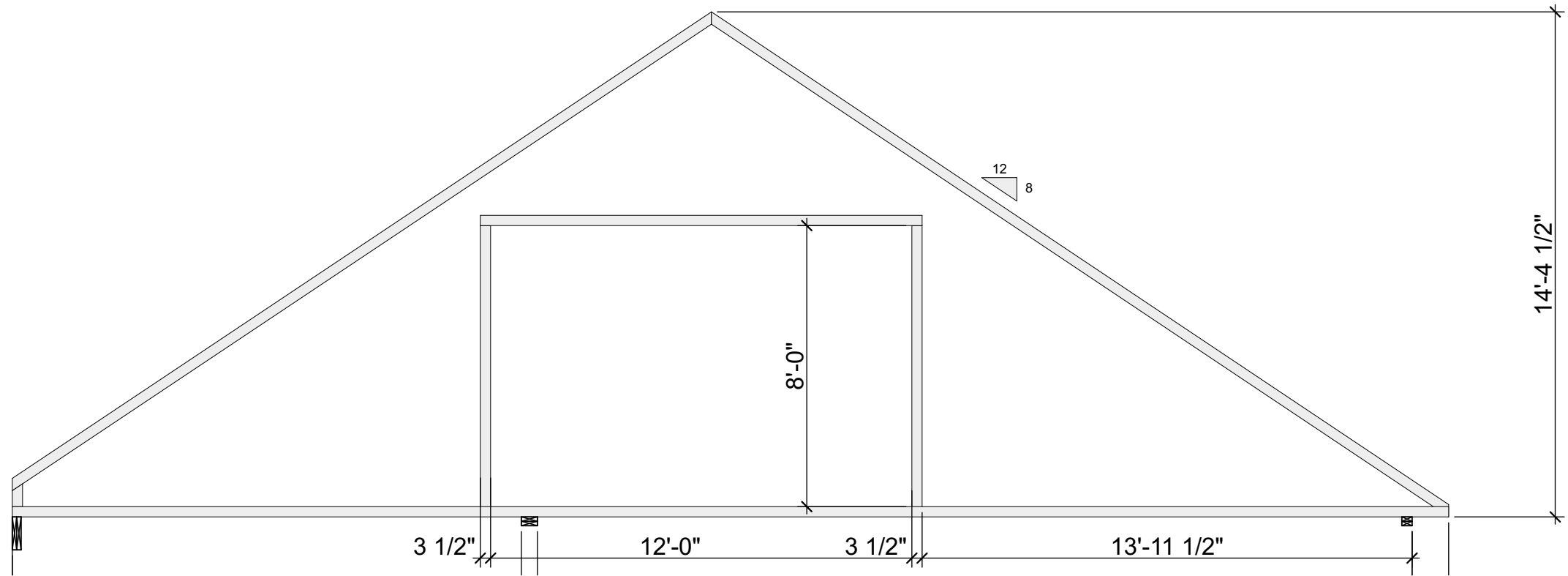
A-304 SCALE: 3/4" = 1'-0"



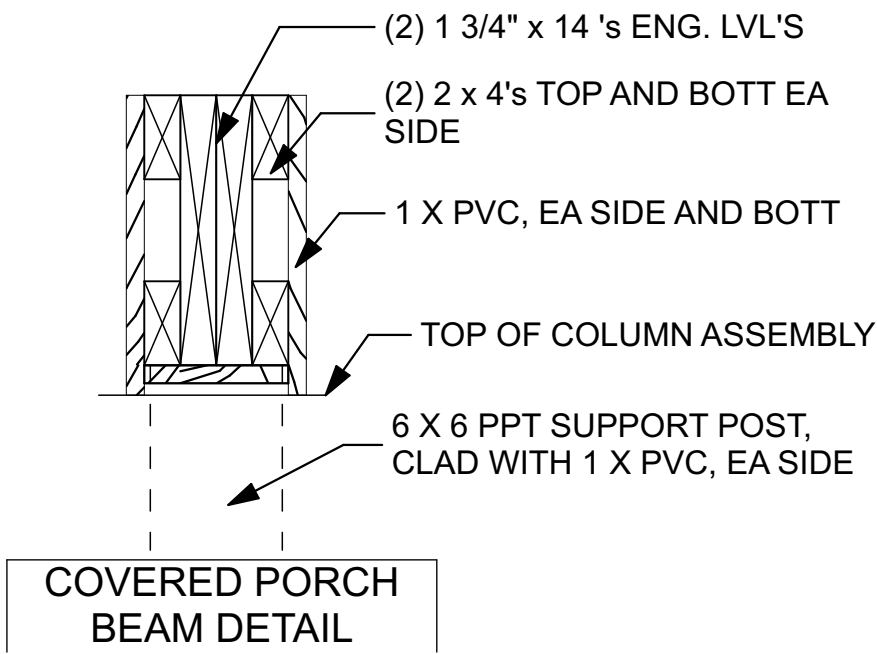
NOTE:
TRUSS FRAMING PROFILES ARE FOR CLARIFICATION PURPOSES, NOT FOR CONSTRUCTION. ACTUAL TRUSSES, TYPES, SIZES AND CONFIGURATIONS SHALL BE ENGINEERED BY THE TRUSS MANUFACTURE.

2
A-305
FRAMING SECTIONS
SCALE: 1/4" = 1'-0"

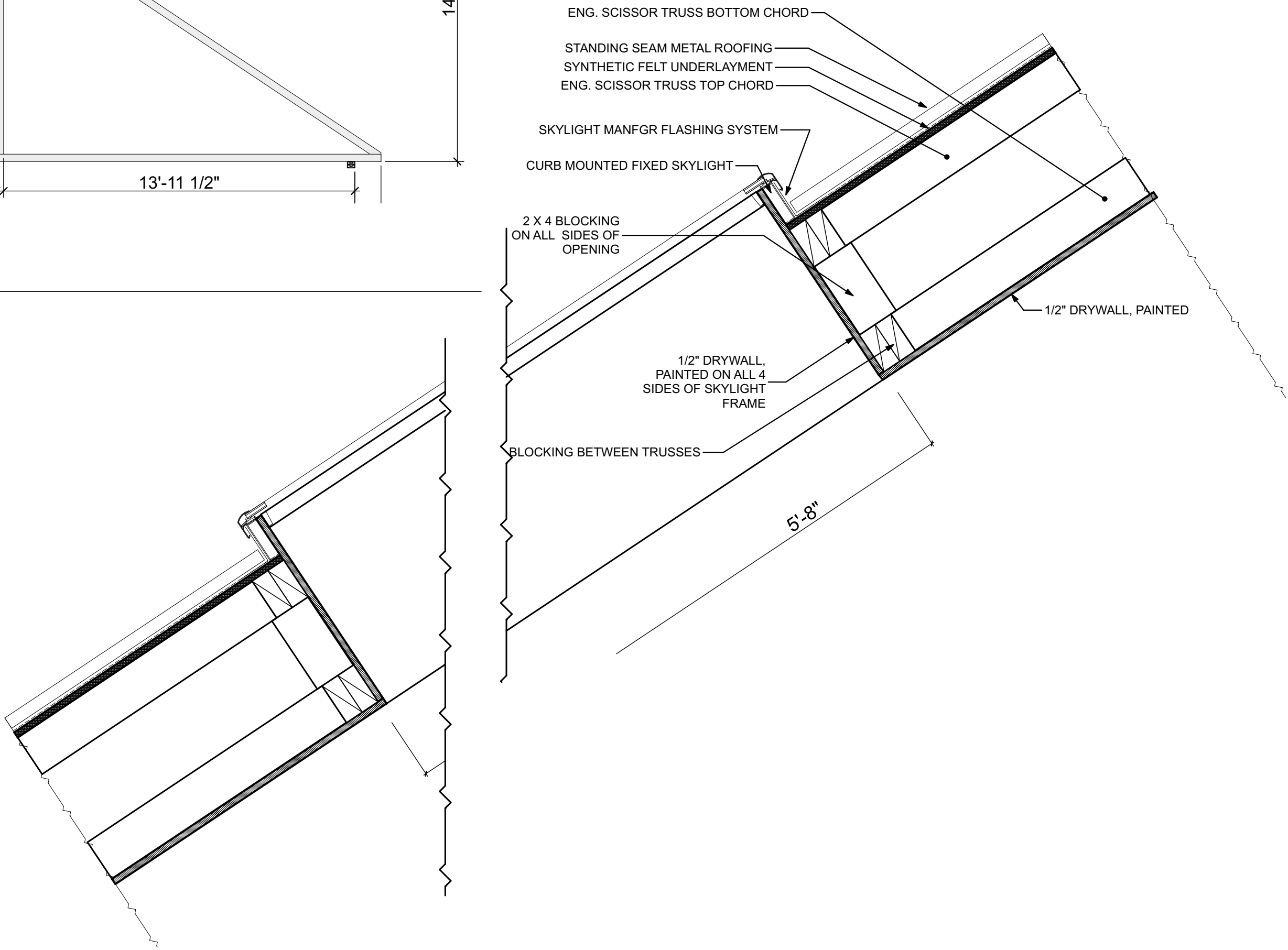
3
A-305
FRAMING SECTIONS
SCALE: 1/4" = 1'-0"



4
A-305
FRAMING SECTIONS
SCALE: 1/4" = 1'-0"



5
A-305
PORCH BEAM DETAIL
SCALE: 1 1/2"= 1'-0"



7
A-305
SKYLIGHT SECTION
SCALE: 1 1/2"= 1'-0"

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-	-	-

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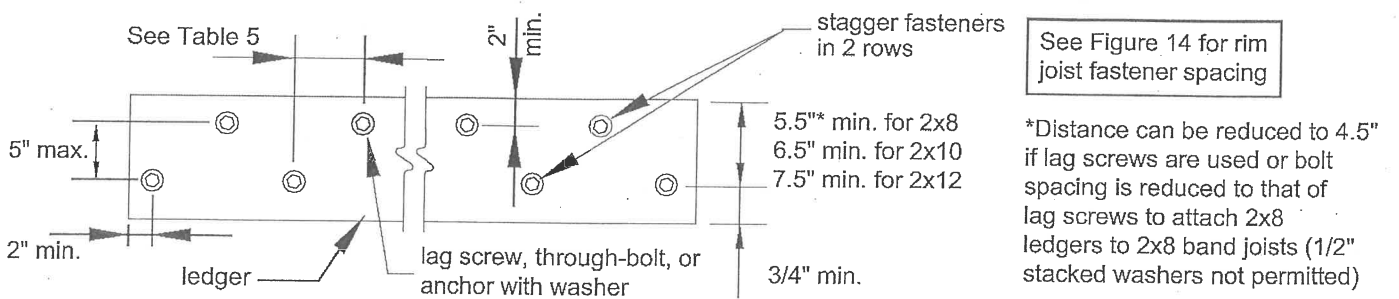
SHEET TITLE

TRUSS PROFILES, SECTIONS
AND DETAILS

A-305

Placement of lag screws or bolts in deck ledgers
The lag screws or bolts shall be placed as shown in Figure 19. The lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger (see Figure 19). Proper installation of lag screws or bolts shall be verified by the authority having jurisdiction.

Figure 19. Ledger Board Fastener Spacing and Clearances.

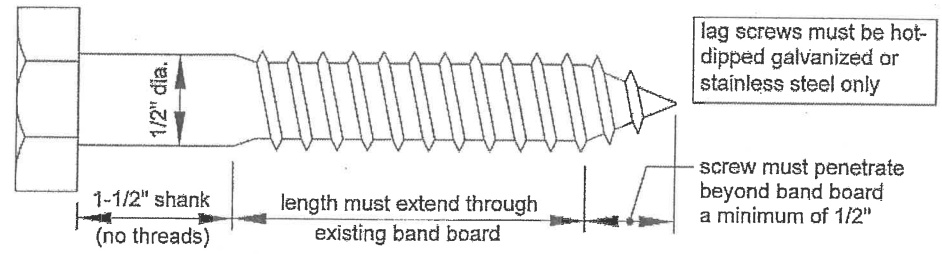


Through-Bolts
Through-bolts shall have a diameter of 1/2". Pilot holes for through-bolts shall be 17/32" to 7/16" in diameter. Through-bolts require washers at the bolt head and nut.

Expansion and Adhesive Anchors
Use approved expansion or adhesive anchors when attaching a ledger board to a concrete or solid masonry wall as shown in Figure 15. Expansion and adhesive anchor bolts shall have a diameter of 1/2". Minimum spacing and embedment length shall be per the manufacturer's recommendations. All anchors must have washers.

Lag Screws
Lag screws shall have a diameter of 1/2" (see MINIMUM REQUIREMENTS). Lag screws may be used only when the field conditions conform to those shown in Figure 14. See Figure 20 for lag screw length and shank requirements. All lag screws shall be installed with washers.

Figure 20. Lag Screw Requirements.



Lag screw installation requirements: Each lag screw shall have pilot holes drilled as follows: 1) Drill a 1/2" diameter hole in the ledger board, 2) Drill a 7/16" diameter hole into the band board of the house. DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE BAND JOIST.
The threaded portion of the lag screw shall be inserted into the pilot hole by turning. DO NOT DRIVE LAG

SCREWS WITH A HAMMER. Use soap or a wood-compatible lubricant as required to facilitate tightening. Each lag screw shall be thoroughly tightened (snug but not over-tightened to avoid wood damage).

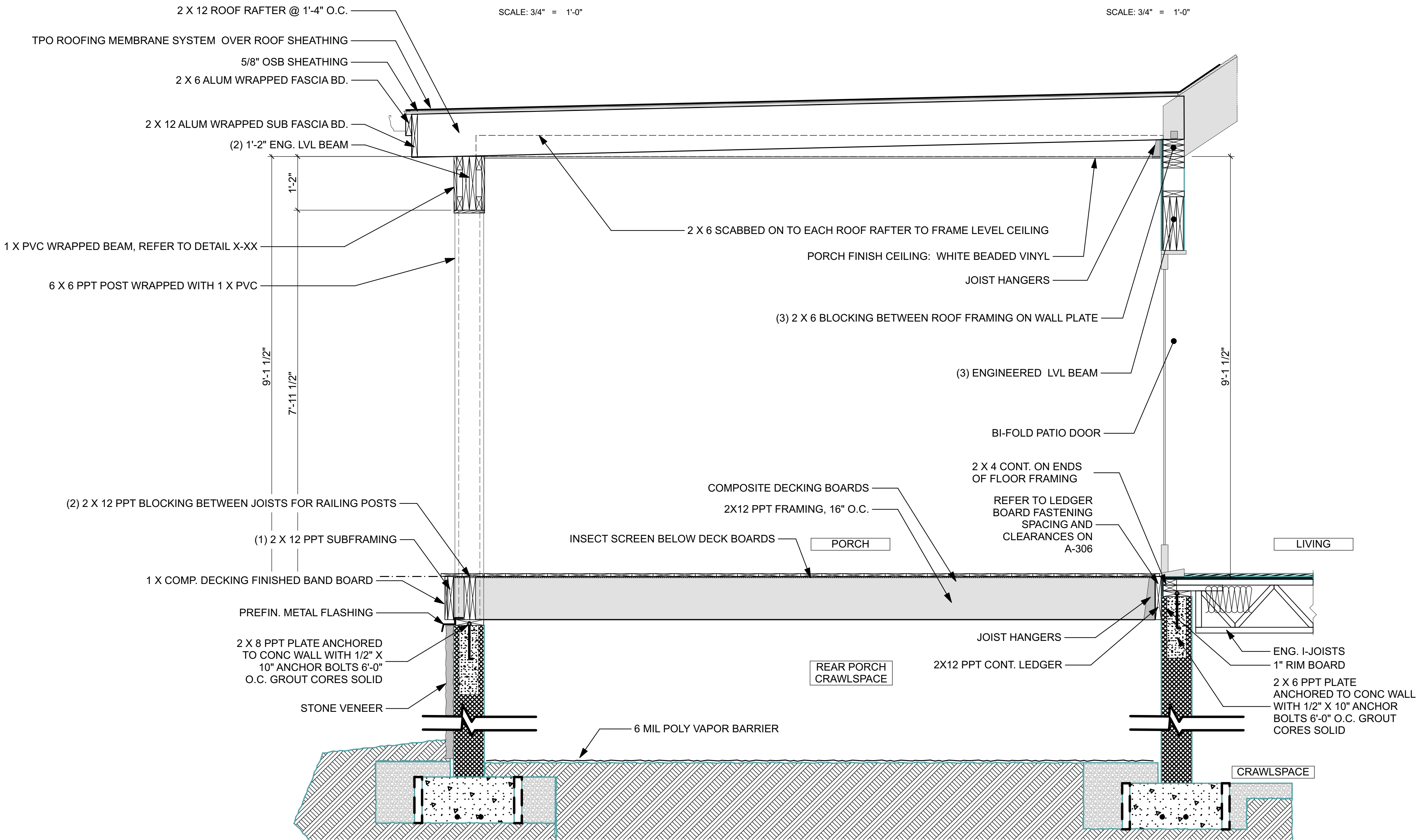
American Wood Council

DCA6 PRESCRIPTIVE RES. WOOD DECK CONST. GUIDE

SCALE: 3/4" = 1'-0"

DCA6 PRESCRIPTIVE RES. WOOD DECK CONST. GUIDE

SCALE: 3/4" = 1'-0"



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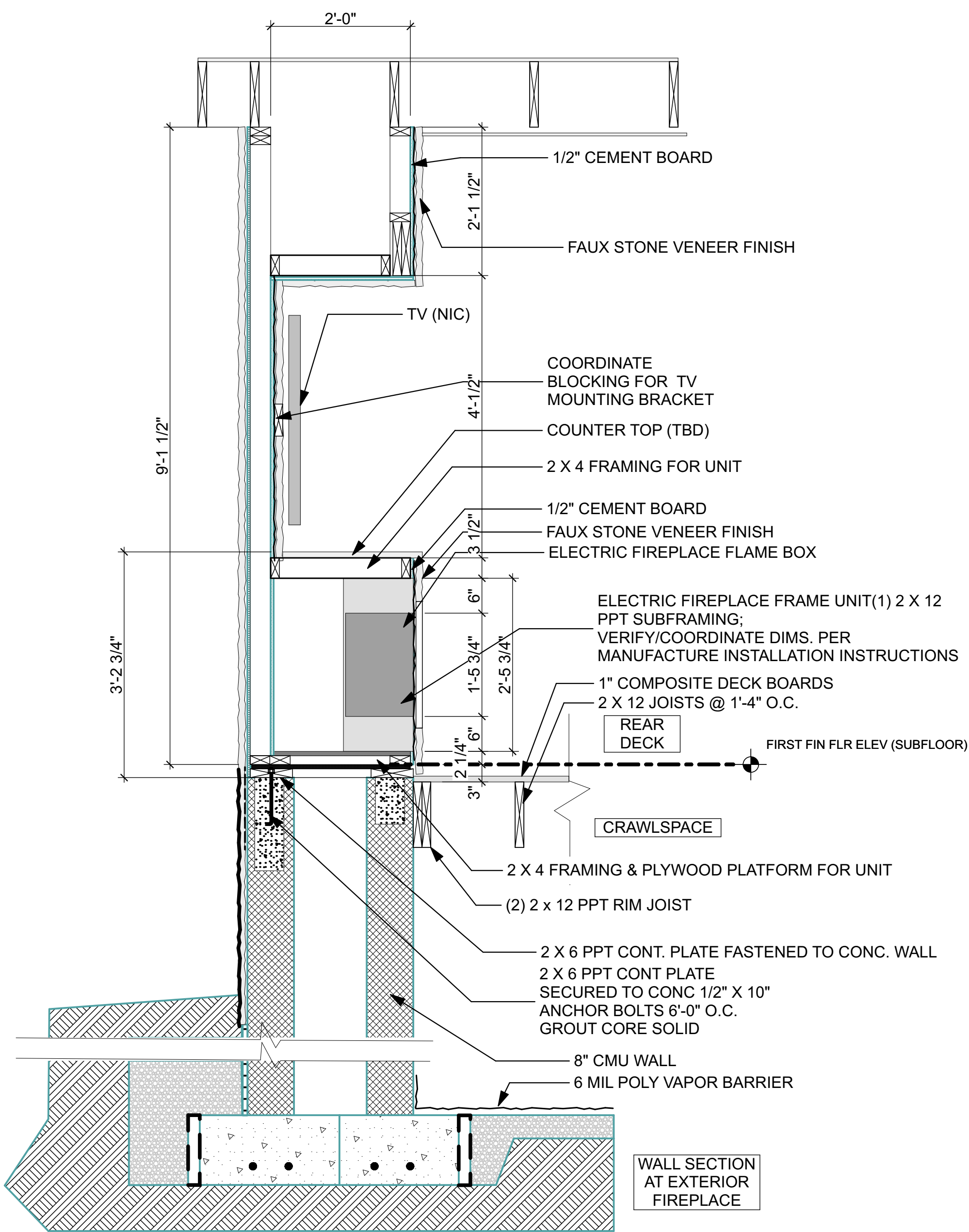
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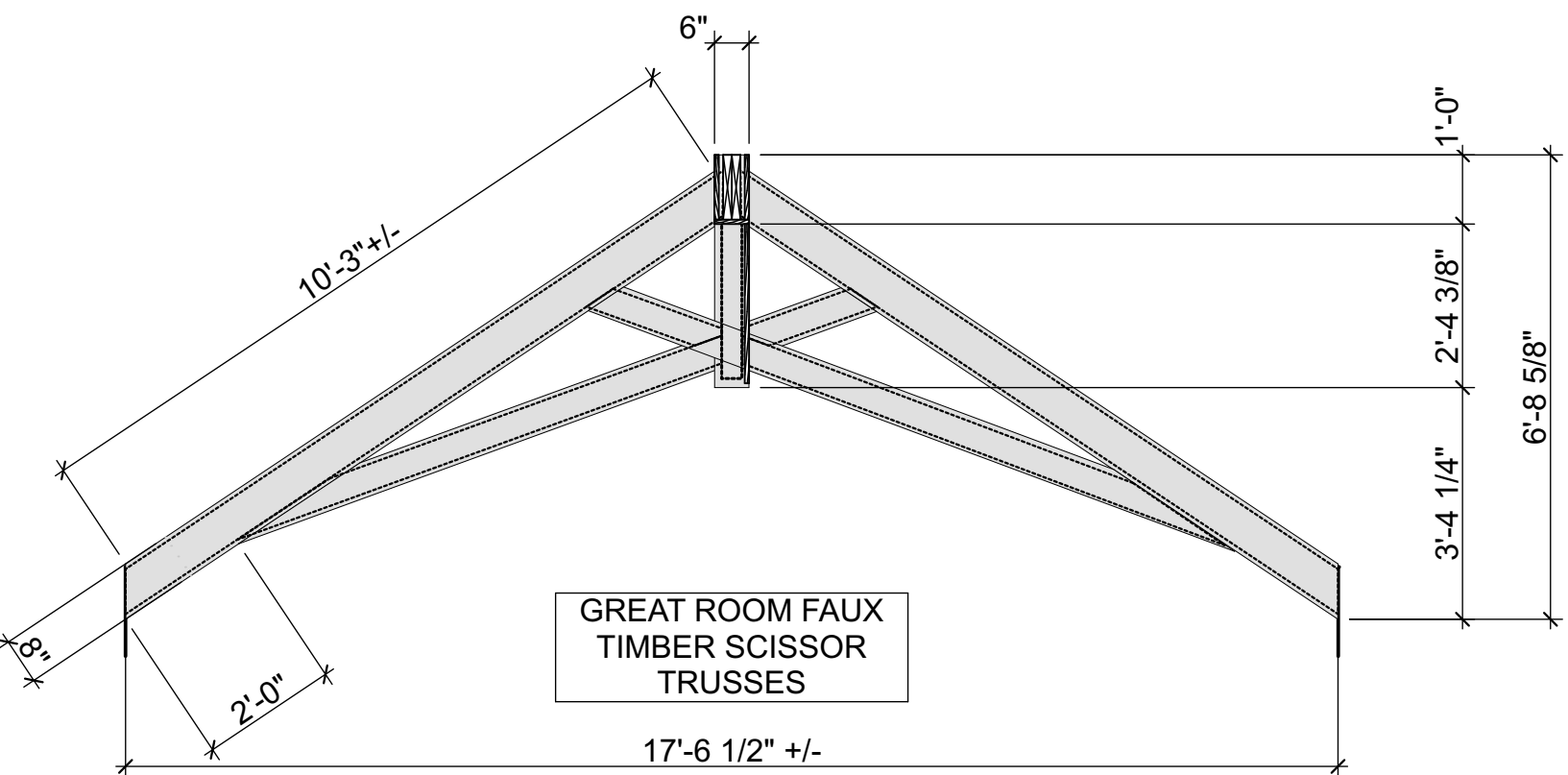
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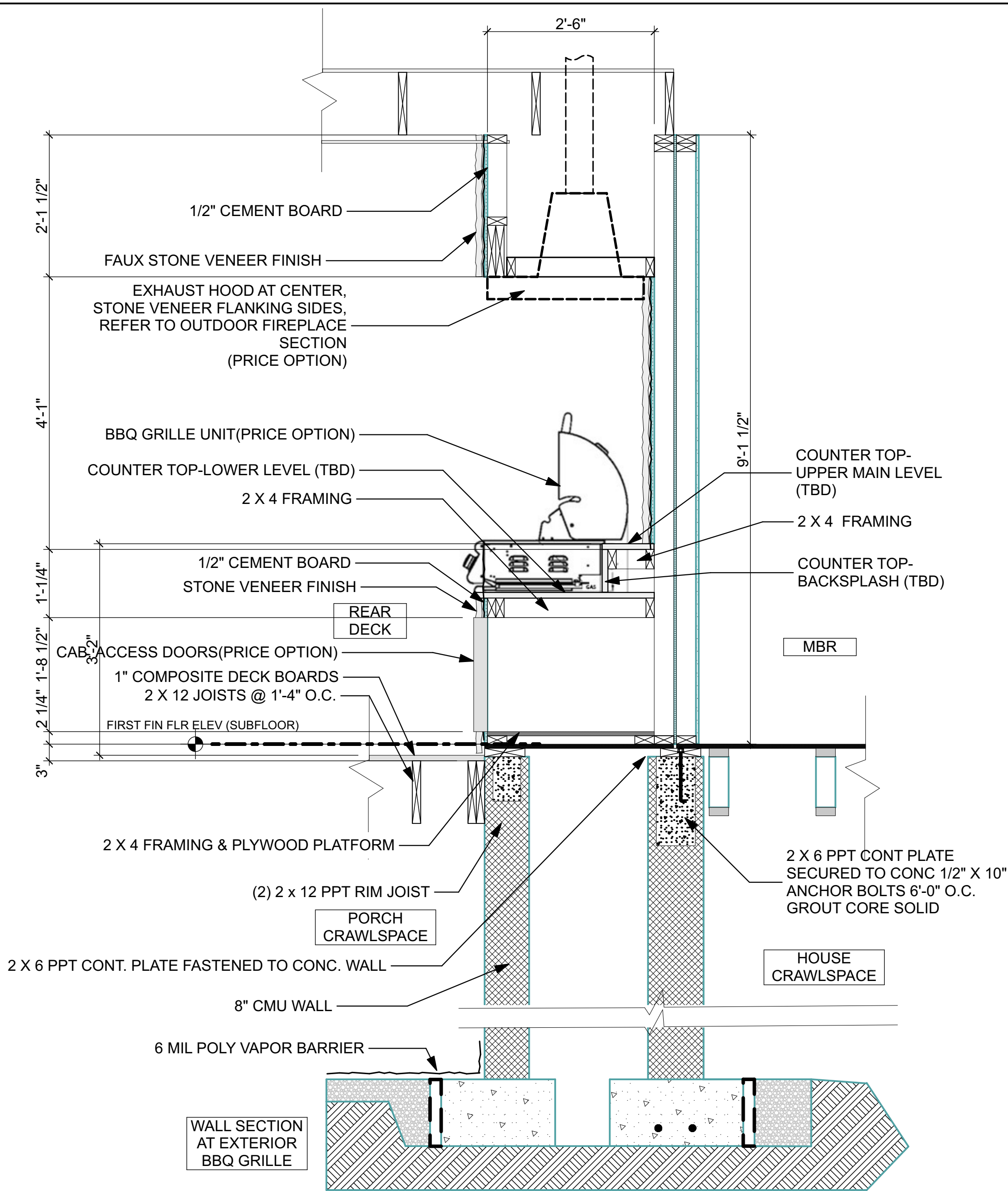
A-306



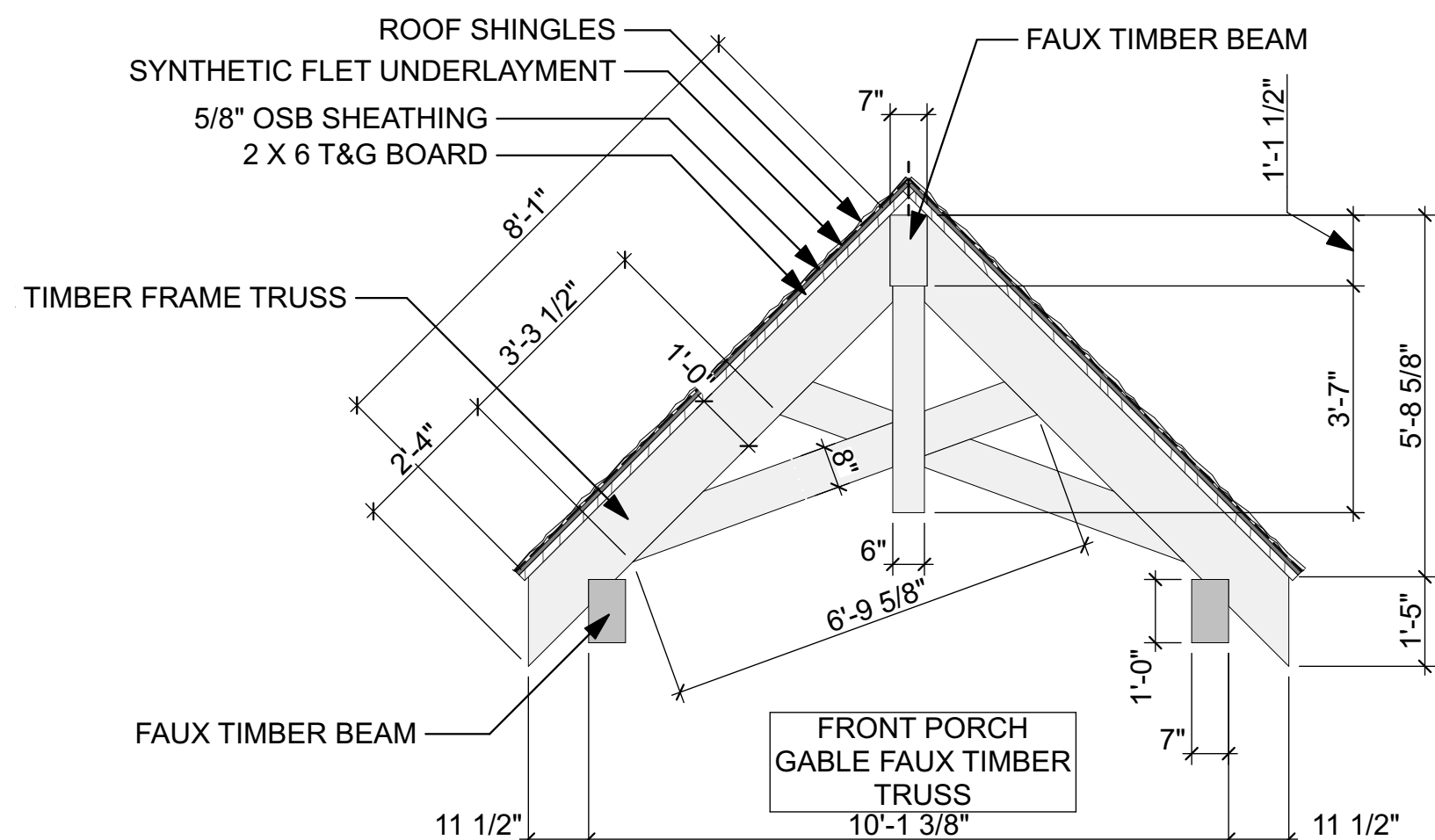
1 SECTION - DECK OUTDOOR TV/FIREPLACE
A-307 SCALE: 3/4" = 1'-0"



3 GREAT ROOM TIMBER TRUSSES
A-307 SCALE: 3/8" = 1'-0"



2 SECTION - DECK OUTDOOR BBQ GRILLE
A-307 SCALE: 3/4" = 1'-0"



4 FRONT PORCH TIMBER TRUSS
A-307 SCALE: 3/8" = 1'-0"

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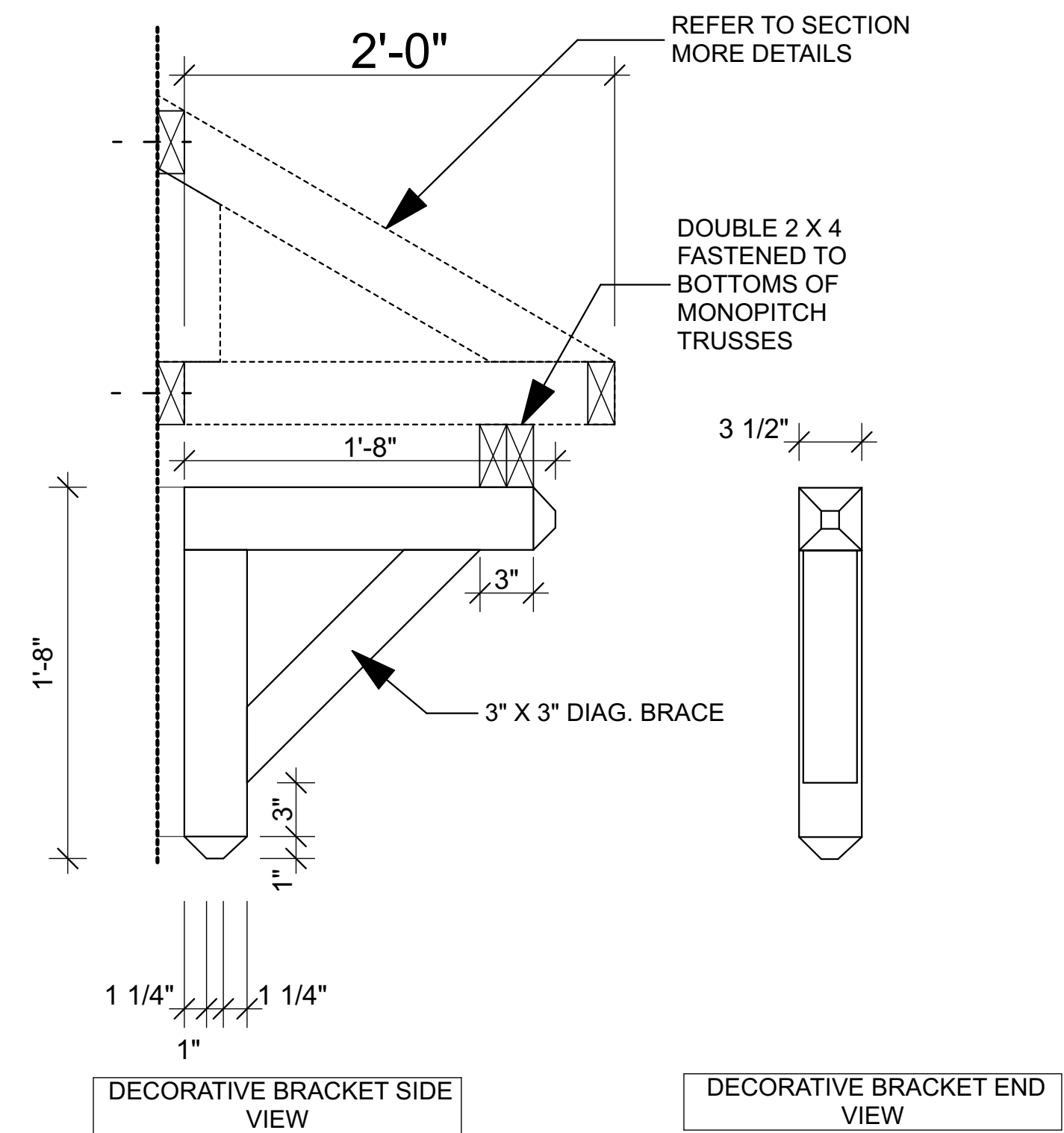
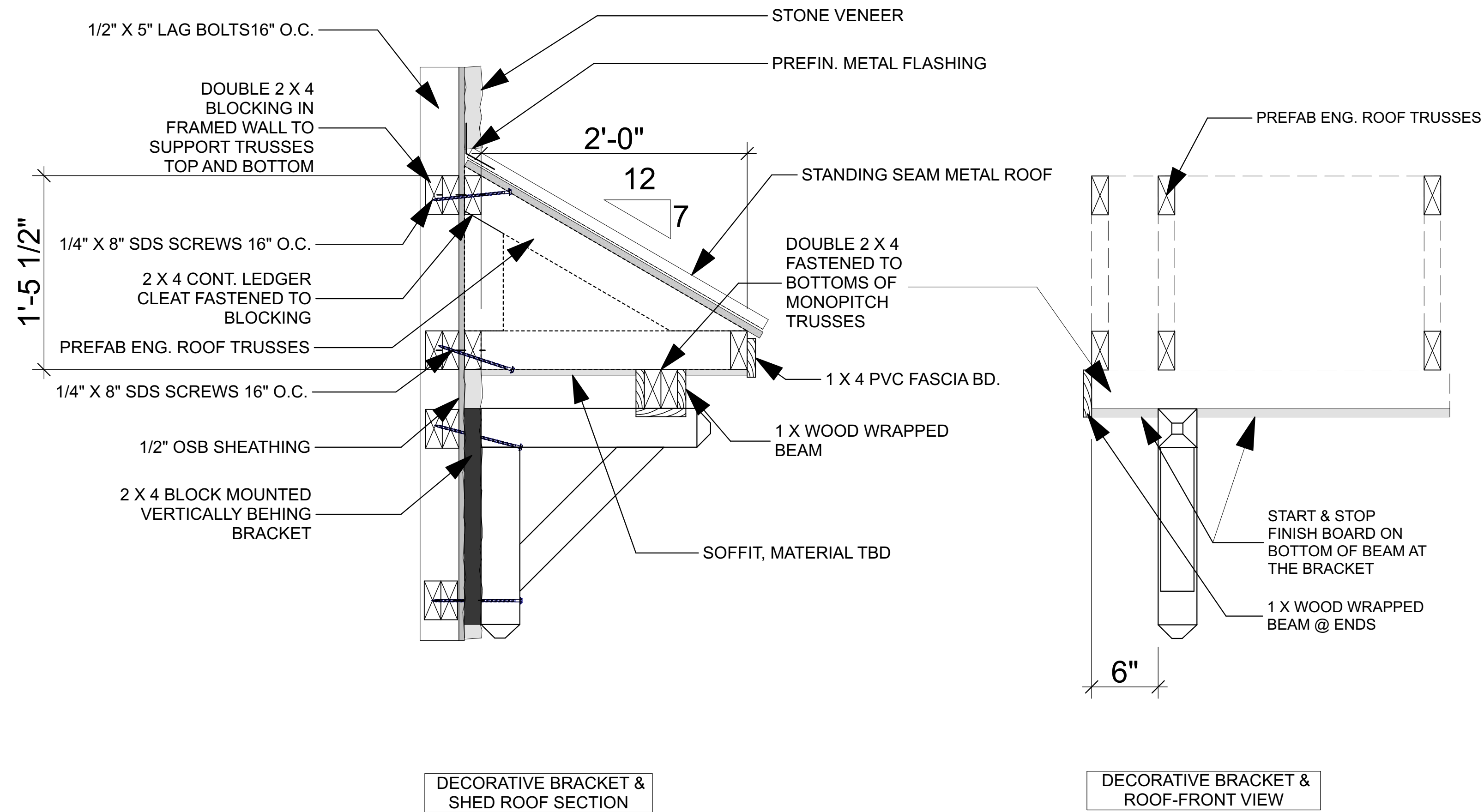
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SHEET TITLE

SECTIONS

A-307



1
A-308

DECORATIVE BRACKET DETAIL

SCALE: 1 1/2"= 1'-0"

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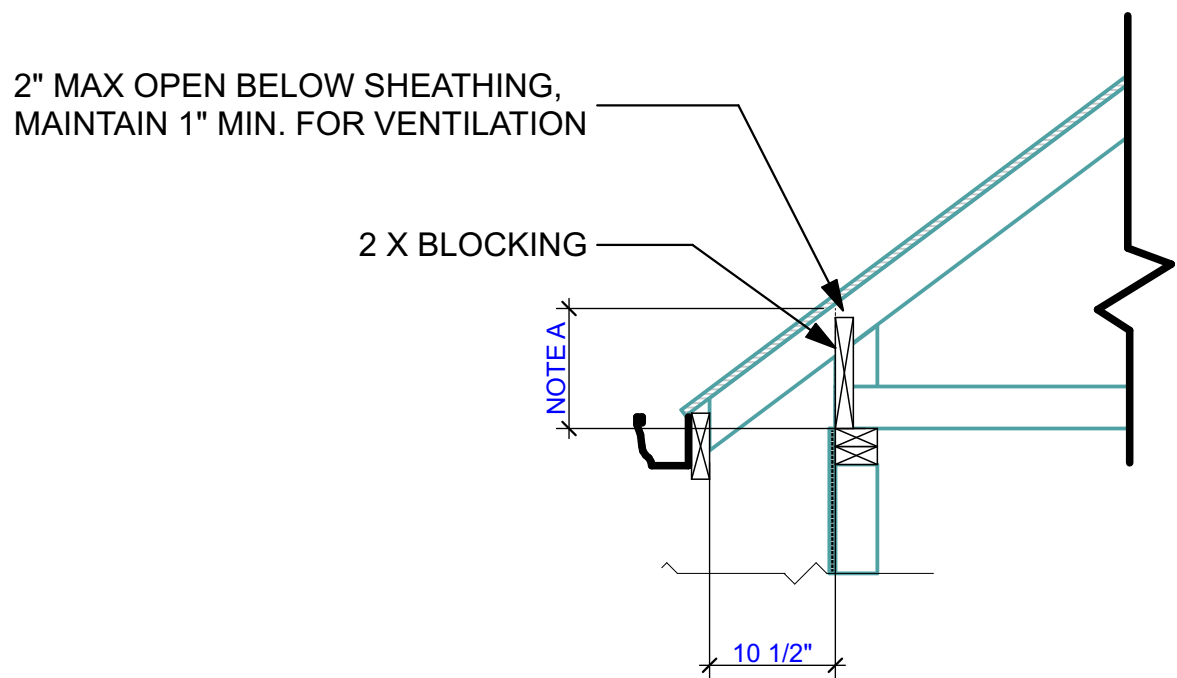
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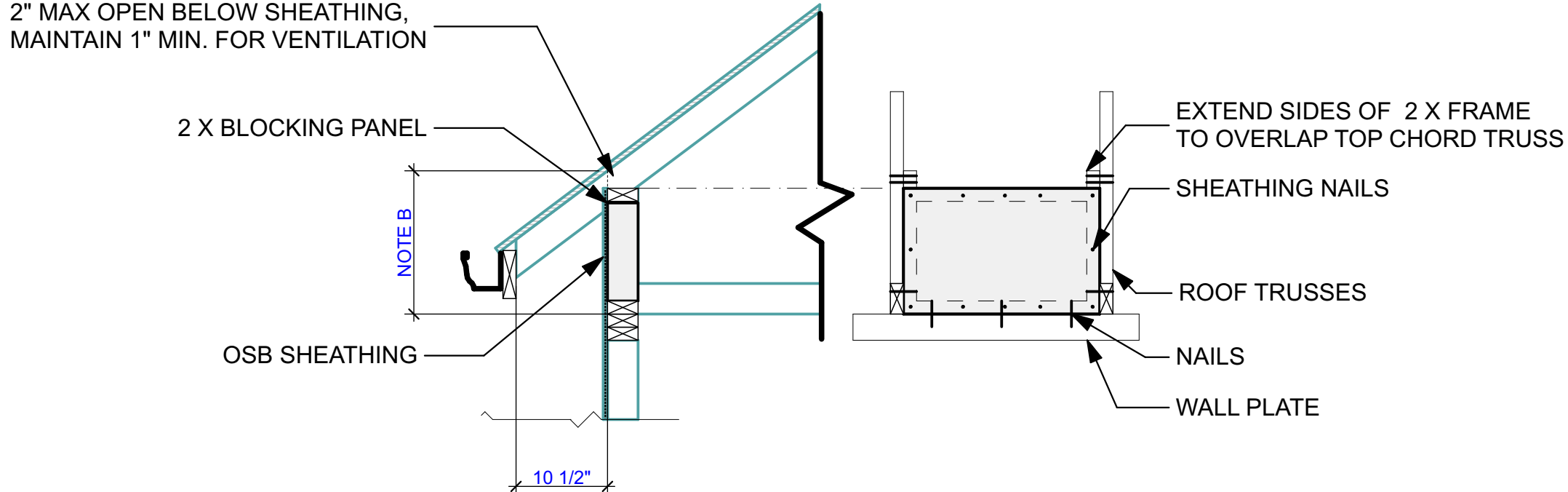
SHEET TITLE

SECTIONS

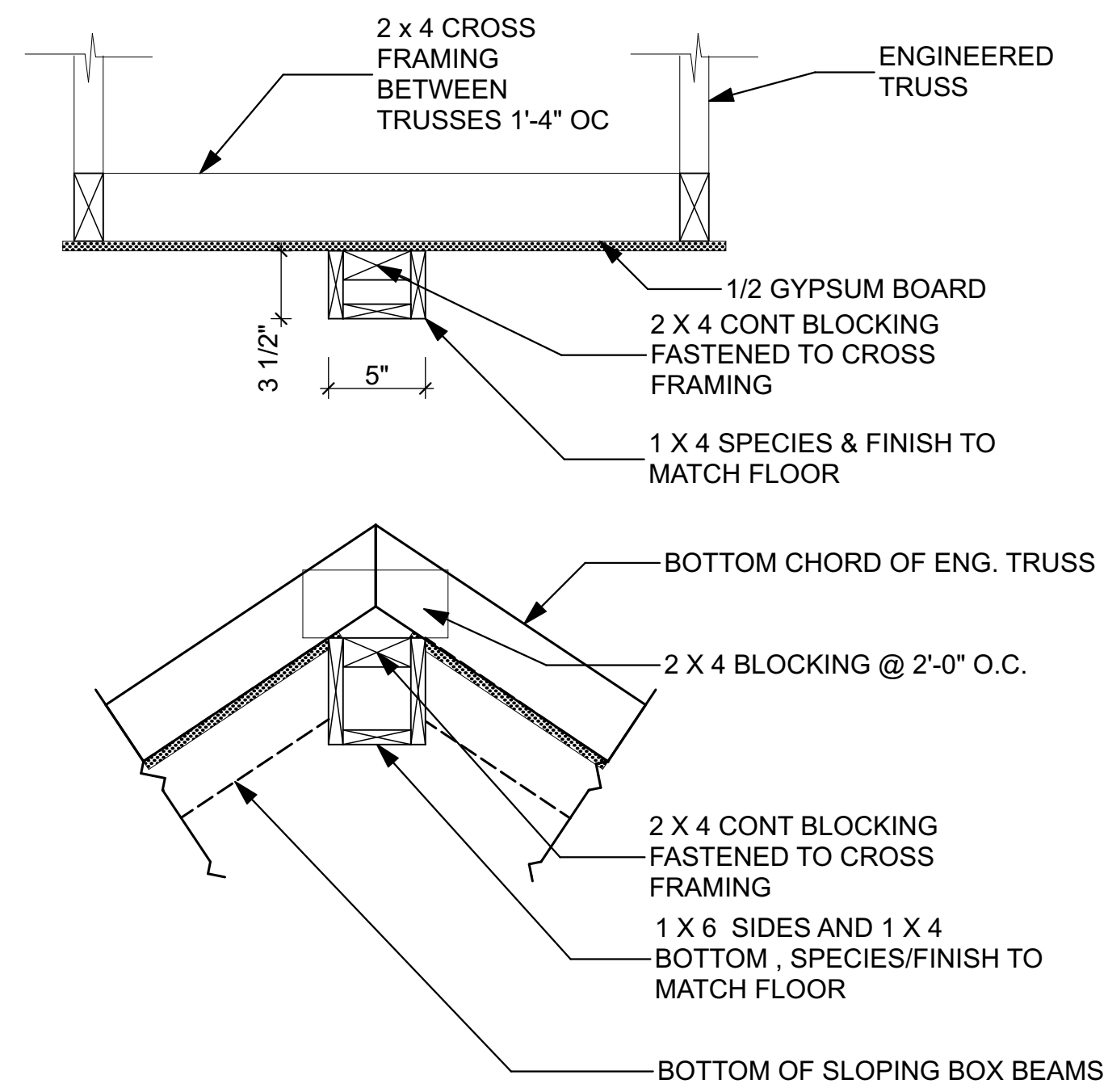
A-308



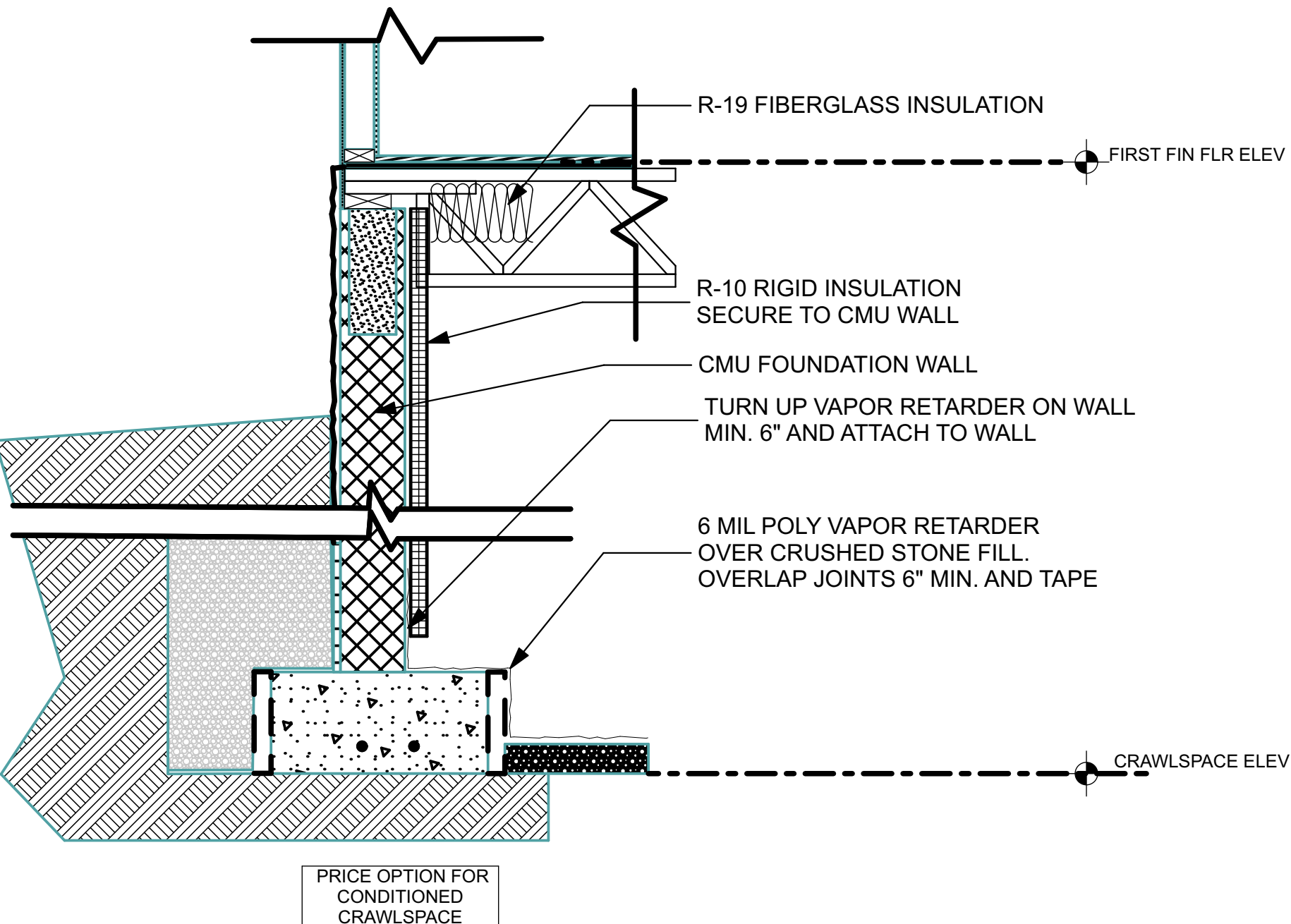
NOTE A
BRACING REQUIREMENTS:
WHERE THIS DIMENSION IS BETWEEN 9 1/4" & 15 1/4",
BLOCKING IS REQUIRED BETWEEN EACH ROOF TRUSS.
FASTEN BLOCKING TO TOP WALL PLATE WITH 8d NAILS @
6" O.C. ALONG THE LENGTH OF THE
BRACED WALL. FASTEN ENDS OF BLOCKING TO THE
TRUSSES WITH (3) 10d NAILS.



NOTE B
BRACING REQUIREMENTS:
WHERE THIS DIMENSION EXCEEDS 15 1/4",
BLOCKING IS REQUIRED BETWEEN EACH ROOF TRUSS.
FASTEN BLOCKING PANEL TO TOP WALL PLATE WITH (3)
8d NAILS ALONG THE LENGTH OF THE
BRACED WALL. FASTEN ENDS OF BLOCKING PANELS TO
THE TRUSSES WITH (3) 10d NAILS.
1/2" OSB SHEATHING FASTENED TO PERIMETER OF
BLOCKING FRAME WITH MIN. 6d COMMON NAILS 6" O.C.

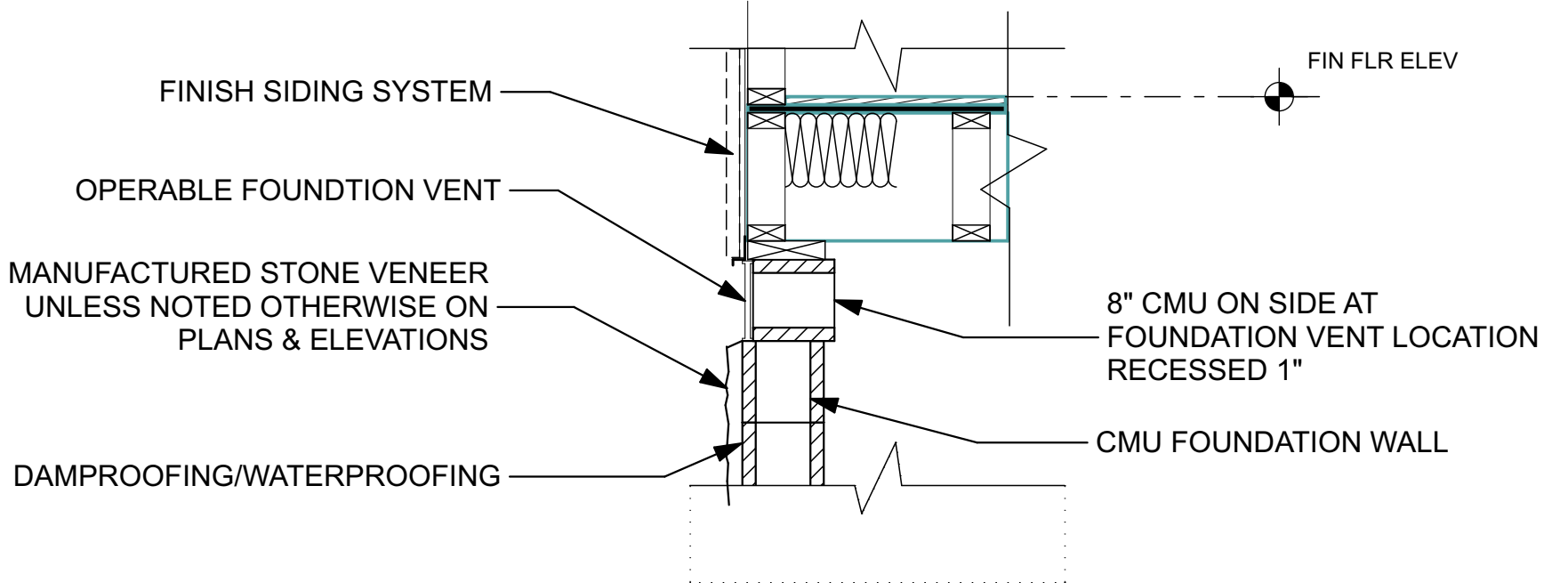


2 FAUX BOX BEAM-MBR
SCALE: 1 1/2" = 1'-0"



4 SECTION - (PRICE OPTION) CONDITIONED CRAWLSPACE
SCALE: 3/4" = 1'-0"

1 TRUSS BLOCKING DETAILS (1)
SCALE: 3/4" = 1'-0"



3 FOUNDATION VENT DETAIL
SCALE: 3/4" = 1'-0"

THE RASMUSSEN
RESIDENCE

129-(A)-L84 MT OLIVET
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THE
STRATFORD
COMPANIES

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Class A Contractor # 2705-106037A

Certified Landscape Architect #0406-000897

REV. DATE COMMENTS

-	-	-
-	-	-

MAY 25, 2021

CONSTRUCTION DOCUMENTS

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SHEET TITLE

DETAILS

A-501

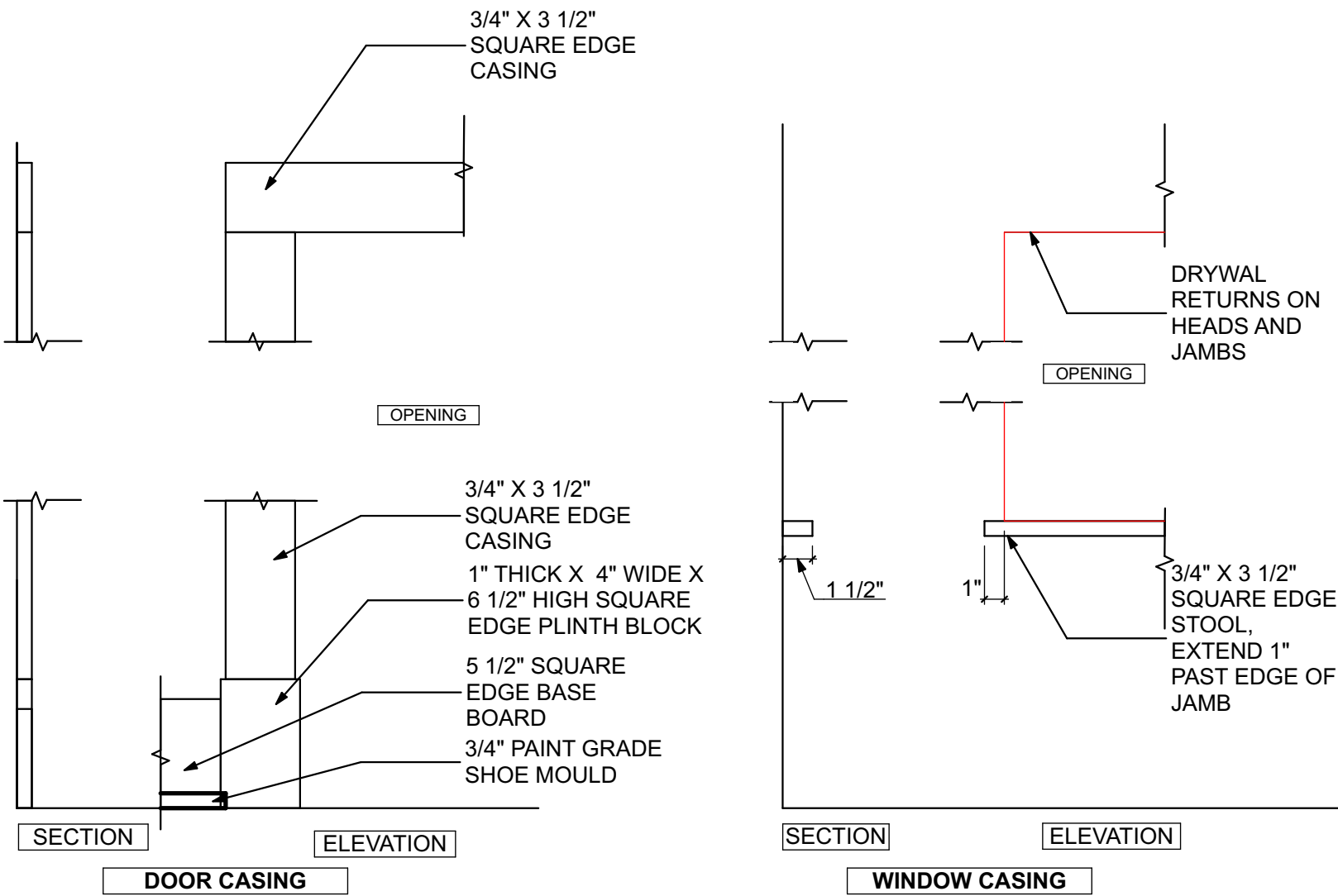
DOOR AND FRAME SCHEDULE																						
MARK	ROOM/SPACE	DOOR								FRAME						HARDWARE						NOTES
		SIZE		MATL	EL	GLZ	MNFRG	MODEL	FIRE RATING	MAT'L	EL	PT/ST	HEAD	JAMB	SCREEN	HANDLE	HINGES	FINISH	THRESHOLD	WEATHER SEAL	DEAD BOLT	
		W	HT																			
002	CRAWLSPACE ACCESS	3'-0"	3'-4"	PVC	1 PANEL	-	CURB APPEAL PRODUCTS	INSET	-	PVC	-	PVC	4 9/16"	4 9/16"	-	KNOB ENTRY	MNFG	BLACK	-	-	-	CURB APPEAL PRODUCTS
100A	FOYER	6'-0"	8'-0"	WD	FRENCH ARCHED	3/4 LITE	MARVIN	ULTIMATE	-	WD	-	PT	4 9/16"	4 9/16"	-	TBD	STND	BLACK	Y	Y	Y	2W 3H TDL ARCHED TOP
101A	FOYER HALL	5'-0"	7'-0"	-	C.O.	-	-	-	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	-	-	-	-	-	-	CASED OPENING
101B	FOYER HALL	4'-0"	7'-0"	-	C.O.	-	-	-	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	-	-	-	-	-	-	CASED OPENING
101C	FOYER HALL	5'-0"	7'-0"	-	C.O.	-	-	-	-	FJ WD	-	PT	6 9/16"	6 9/16"	-	-	-	-	-	-	-	CASED OPENING
101D	FOYER HALL CLOSET	2'-8"	6'-8"	HC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	
102	HALL BATH	3'-0"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PRIV	STND	BLACK	-	-	-	OPAQUE GLASS "POWDER ROOM"
103	OFFICE	5'-0"	6'-8"	MDF	FRENCH	3/4 LITE	TBD	TBD	-	FJ WD	-	PT	4 9/16	4 9/16	-	LEVER, PASS	STND	BLACK	-	-	-	2 W 3H LITES SDL
104A	BEDROOM 2	3'-0"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PRIV	STND	BLACK	-	-	-	
104B	BEDROOM 2 CLOSET	4'-0"	6'-8"	HC	2 PANEL , PAIR	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PRIV	STND	BLACK	-	-	-	PAIR OF DOORS
105A	BEDROOM 3	3'-0"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	
105B	BEDROOM 3 CLOS.	2'-6"	6'-8"	HC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	
106A	GUEST BATH	3'-0"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PRIV	STND	BLACK	-	-	-	
106B	GUEST BATH	3'-0"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PRIV	STND	BLACK	-	-	-	
107A	KITCHEN	12'-0"	7'-0"	ULTREX	BI-PARTING	FULL	MARVIN	ULTIMATE	-	WD	-	-	6 9/16"	6 9/16"	Y	MNFG	MNFG	BLACK	MNFG	MNFG	MNFG	
107A	LIVING ROOM	12'-0"	7'-0"	ULTREX	BI-PARTING	FULL	MARVIN	ULTIMATE	-	WD	-	-	6 9/16"	6 9/16"	Y	MNFG	MNFG	BLACK	MNFG	MNFG	MNFG	
110	PANTRY	3'-0"	6'-8"	MDF	LITE/ PANEL	3/4 LITE	TBD	TBD	-	FJ WD	-	PT	6 9/16"	6 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	OPAQUE GLASS "PANTRY"
111A	HALL	3'-0"	6'-8"	MTL INSUL	2 PANEL	-	T-TRU	TBD	20 MIN.	FJ WD	-	PT	6 9/16"	6 9/16"	-	LEVER, ENTRY	STND	BLACK	Y	Y	Y	
111B	HALL	3'-0"	7'-0"	-	C.O.	-	-	-	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	-	-	-	-	-	-	CASED OPENING
111C	HALL	3'-0"	7'-0"	-	C.O.	-	-	-	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	-	-	-	-	-	-	CASED OPENING
112A	LAUNDRY	3'-0"	6'-8"	FGL INSUL	LITE/1 PANEL	3/4 LITE	T-TRU	TBD	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	Y	Y	Y	
112B	LAUNDRY	3'-0"	6'-8"	WD	BARN DOOR	3/4 LITE	TBD	TBD	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	BARN DOOR TRACK & HANDLE	-	BLACK	-	-	-	2W 3H LITES TDL
113A	MASTER BEDROOM	3'-0"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PRIV	STND	BLACK	-	-	-	
114A	MASTER BATH	2'-8"	6'-8"	WD	BARN DOOR	MIRROR	TBD	TBD	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	BARN DOOR TRACK & HANDLE	STND	BLACK	-	-	-	
114B	MASTER BATH CLOS.	2'-0"	6'-8"	HC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	
114C	MASTER BATH TOIL.	2'-4"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	6 9/16"	6 9/16"	-	PRIV PCKT	TRACK	BLACK	-	-	-	POCKET DOOR
115	MASTER CLOSET	2'-8"	6'-8"	SC	2 PANEL	-	MAS	EXPO LOGAN	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	
116	DOG ROOM	2'-8"	6'-8"	MTL INSUL	2 PANEL	-	T-TRU	TBD	-	FJ WD	-	PT	4 9/16"	4 9/16"	-	LEVER, PASS	STND	BLACK	-	-	-	
117A	GARAGE	16'-0"	8'-0"	MTL	RAISED PNL	UPPER PANEL	W. DALTON	CLASSIC STEEL 9100	-	PVC	-	-	4 9/16"	4 9/16"	-	MNFG	-	BLACK	MNFG	MNFG	-	WHITE, LONG PANEL, PLAIN LONG WINDOWS, VALUE PLUS, (2) REMOTES & KEYPAD

DOOR SCHEDULE NOTES:

1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. ALL JAMB DEPTHS ARE 4 1/2" UNLESS NOTED OTHERWISE.
3. INTERIOR DOORS ARE 1 3/8" THICK UNLESS NOTED OTHERWISE.
4. EXTERIOR DOORS ARE 1 3/4" THICK UNLESS NOTED OTHERWISE.

ABBREVIATIONS:

ALUM-ALUMINUM
C.O. - CASED OPENING
OPT - CARPET
QT - CERAMIC TILE
EXT - EXTERIOR
FGL-FIBERGLASS
HC - HOLLOW CORE
HDWR-HARDWARE
INSUL - INSULATED
FJ WD-FINGER JOINTED WOOD
MNFG-MANUFACTURE
MPD-MOULDED PANEL DOOR
MAS-MASONITE
MTL-METAL
OPNG - OPENING
PASS PCKT- PASSAGE POCKET
PRIV PCKT- PRIVACY POCKET
PNL - PANEL
PT-PAINT
ST-STAIN
SAT NICK-SATIN NICKEL
SC - SOLID CORE
STND-STANDARD
TRN-TRANSOM
TEMP - TEMPERED
TBD - TO BE DETERMINED
WD- WOOD



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Certified Landscape Architect #0406-000897

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DOOR SCHEDULES

A-601

WINDOW SCHEDULE																
MARK	SPACE/ROOM	SIZE		SILL HEIGHT	HEAD HEIGHT	TYPE	JAMB DEPTH (INCHES)	MNFR/MAT'L	GLASS	EXT. FIN.	INT. FIN.	HDWR.	SCREENS	GRILLE/TYPE	TRANSOM	NOTES
		WIDTH	HEIGHT													
100A	FOYER	2'-0"	5'-0"	2'-0"	7'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	2W 3H, GBG, BLACK	-	
100B	HALL BATH	2'-0"	5'-0"	2'-0"	7'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	2W 3H, GBG, BLACK	-	
100T	DOG RM	5'-6"	6'-0"	2'-0"	8'-0"	FX	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	-	-	3W 3H, GBG, BLACK		TEMPERED
101	BEDROOM 2	5'-6"	6'-0"	2'-0"	8'-0"	SEE NOTES	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	2W 3H, GBG, BLACK	-	TILT & TURN ULTIMATE
102T	GUEST BATH	3'-0"	6'-0"	2'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	2W 3H, GBG, BLACK	-	TEMPERED
103T	GUEST BATH	2'-6"	4'-6"	2'-6"	7'-0"	FX	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E*	BLACK	BLACK	-	-	-	-	* OBSCURE GLASS- OPTIONS TBD, TEMPERED
104	BEDROOM 3	2'-6"	4'-6"	2'-6"	7'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
106	GREAT ROOM	2'-0"	6'-0"	2'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
106	GREAT ROOM	2'-0"	6'-0"	2'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
107	DINING ROOM ALCOVE	2'-0"	5'-0"	3'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
108A	DINING ROOM ALCOVE	2'-0"	5'-0"	3'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
108B	DINING ROOM ALCOVE	6'-0"	5'-0"	3'-0"	8'-0"	FX	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	-	-	-	-	
108C	DINING ROOM ALCOVE	2'-0"	5'-0"	3'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
109	DINING ROOM ALCOVE	2'-0"	5'-0"	3'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
110A	MASTER BEDROOM	2'-6"	6'-0"	2'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
110B	MASTER BEDROOM	5'-0"	6'-0"	2'-0"	8'-0"	FX	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	-	-	-	-	
110C	MASTER BEDROOM	2'-6"	6'-0"	2'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
111	MASTER CLOSET	2'-6"	4'-6"	2'-6"	7'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	-	-	
112T	MASTER BATH	5'-0"	4'-6"	2'-6"	7'-0"	FX	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	-	-	-	-	TEMPERED
113	GARAGE	3'-0"	6'-0"	2'-0"	8'-0"	CAS	2 + 1/2" DRYWALL CHANNEL	MARVIN ESSENTIAL	LOW E	BLACK	BLACK	COMPACT HANDLE	Y	2W 3H, GBG, BLACK	-	

ROOM FINISH SCHEDULE												
SPACE NO.	SPACE NAME	FLOOR	AREA (SF)	BASE	SHOE MOULD.	WALLS	CASING	WAINSCOT	CROWN	CEILING	CEILING HGT.	NOTES
100	FOYER	HW	133.67	PT	PT	PT	PT	-	-	PT	9'-0"	
101	FOYER HALL	HW	150.15	PT	PT	PT	PT	-	-	PT	9'-0"	
102	HALL BATH	CT	39.44	PT	PT	PT	PT	-	-	PT	9'-0"	
103	OFFICE	HW	88.27	PT	PT	PT	PT	-	-	PT	9'-0"	
104	BEDROOM 2	HW	138.11	PT	PT	PT	PT	-	-	PT	9'-0"	
105	BEDROOM 3	HW	189.60	PT	PT	PT	PT	-	-	PT	9'-0"	
106	GUEST BATH	CT	106.08	PT	PT	PT	PT	-	-	PT	9'-0"	
107	GREAT RM	HW	309.43	PT	PT	PT	PT	-	-	PT	VAULTED*	*PRICE OPTION T&G BOARDS
108	DINING RM	HW	234.94	PT	PT	PT	PT	-	-	PT	VAULTED*	*PRICE OPTION T&G BOARDS
109	KITCHEN	HW	330.96	PT	PT	PT	PT	-	-	PT	VAULTED*	*PRICE OPTION T&G BOARDS
110	PANTRY	CT	77.38	PT	PT	PT	PT	-	-	PT	9'-0"	
111	HALL	HW	80.87	PT	PT	PT	PT	-	-	PT	9'-0"	
112	LAUNDRY	CT	95.65	PT	PT	PT	PT	-	-	PT	9'-0"	
113	MASTER BEDROOM	HW	253.14	PT	PT	PT	PT	-	-	PT	9'-0"	
114	MASTER BATH	CT	183.34	PT	PT	PT	PT	-	-	PT	9'-0"	
115	MASTER CLOSET	HW	69.95	PT	PT	PT	PT	-	-	PT	9'-0"	
116	DOG RM	CONC	40.78	PT	PT	PT	PT	-	-	PT	9'-0"	
117	GARAGE	CONC	531.98	PT	PT	PT	PT	-	-	PT	9'-0"	
118	FRONT PORCH	CONC	175.22	-	-	-	-	-	-	WD	9'-0"	
119	SIDE PORCH	CONC	43.19	-	-	-	-	-	-	VINYL	9'-0"	
255	REAR DECK	COMP	778.57	-	-	-	-	-	-	VINYL	9'-0"	

WINDOW SCHEDULE NOTES:

1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. ALL JAMB DEPTHS ARE 4 1/2" UNLESS NOTED OTHERWISE.
3. ALL GLASS TYPE ARE INSUL LOW-E, UNLESS INDICATED OTHERWISE.
4. WINDOW NUMBER WITH A "T" DESIGNATION INDICATES IT IS A TEMPERED WINDOW. FOR EXAMPLE "09T".

ABBREVIATIONS:

FX - FIXED
AWN - AWNING
DH - DOUBLE HUNG
CAS - CASMENT
GBG-GRILLE BETWEEN THE GLASS
INSUL - INSULATED
SDL-SIMULATED DIVIDED LIITE
TEMP - TEMPERED
4/1 - 4 LIGHT SASH OVER 1 LIGHT SASH

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SHEET TITLE

FINISH & WINDOW SCHEDULE
& DETAILS

A-602

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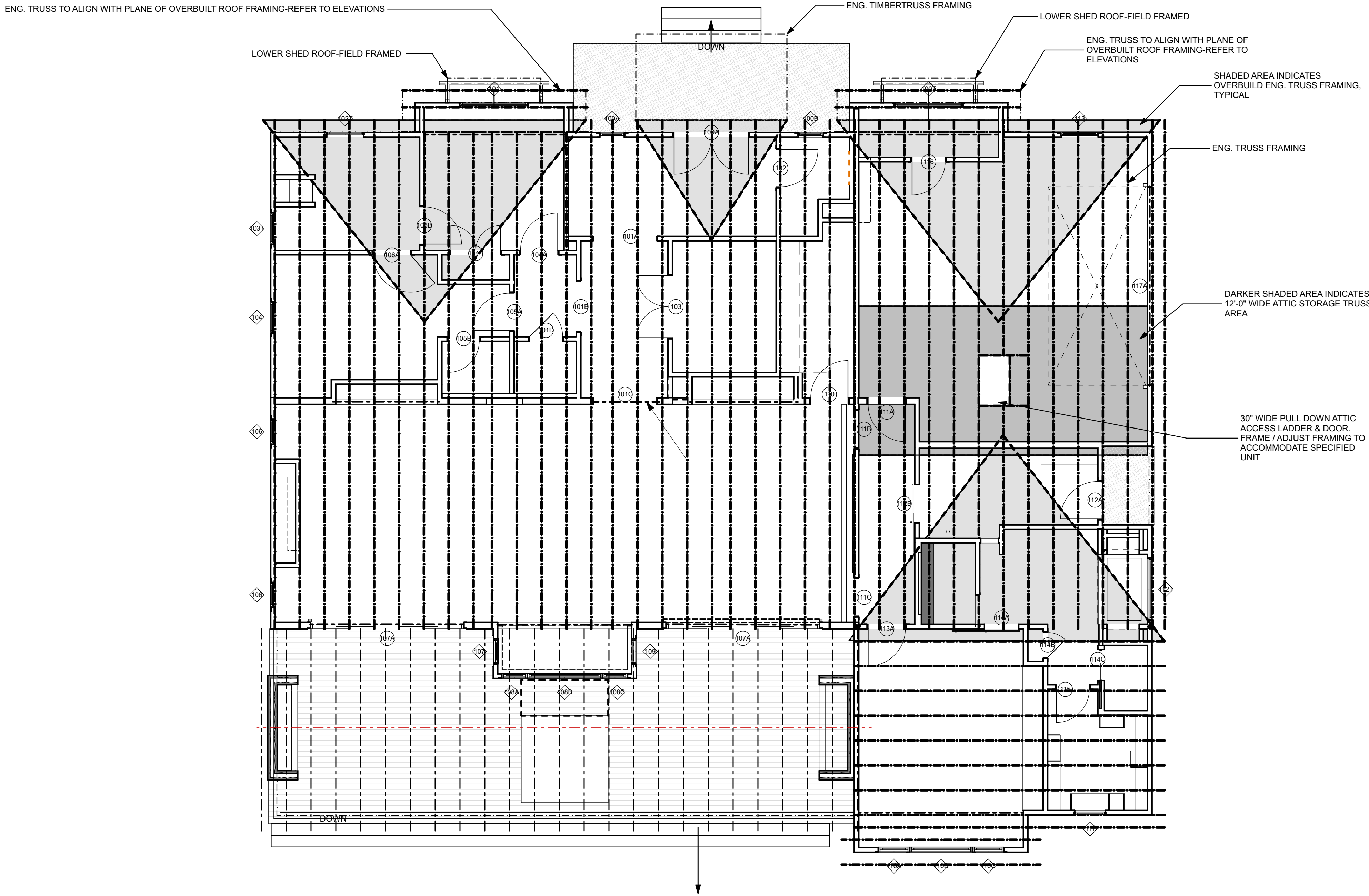
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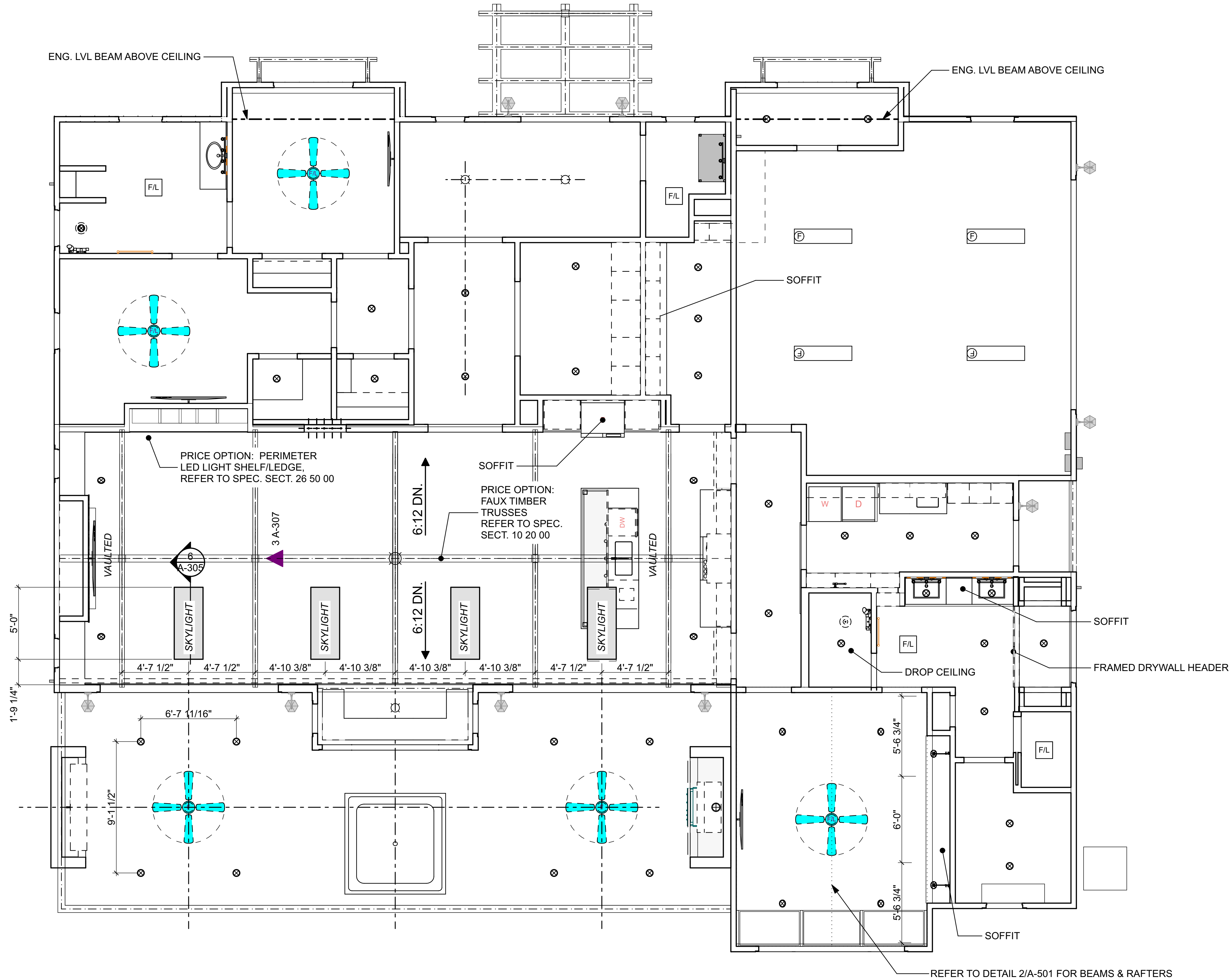
SHEET TITLE

ROOF FRAMING PLAN
DIAGRAMS

A-603



1 2ND FLOOR / ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



LIGHTING FIXTURE LEGEND

- RECESSED FIXTURE
- CEILING FAN WITH LIGHT AND VARIABLE SPEED FAN
- VANITY FIXTURE
- WALL MOUNTED SCOFF FIXTURE
- CEILING MOUNTED 3'-0" FLOURESENT FIXTURE
- JUNCTION BOX
- FAN / LIGHT FIXTURE
- EXTERIOR TWO LAMP FLOOD TYPE FIXTURE
- INCANDESENCT CEILING MOUNT FIXTURE
- DISPLAY LIGHTING
- UNDER CABINET LIGHTING

GENERAL NOTE:

1. THE FIXTURE PLANS DO NOT ACCOUNT FOR ALL FIXTURE TYPES AND LOCATIONS. COORDINATE ALL FIXTURES WITH STRATFORD COMPANIES AND THE OWNER.

2. COORDINATE TEMPORARY LIGHT FIXTURES IN UNFINISHED SPACES.

3. ROUGH-IN BATHROOM VENT FAN AND EXHAUST DUCTWORK.

4. BOX FRAME AND PAINT BEAMS BELOW CEILING IN DESIGNATED FINISHED SPACES.

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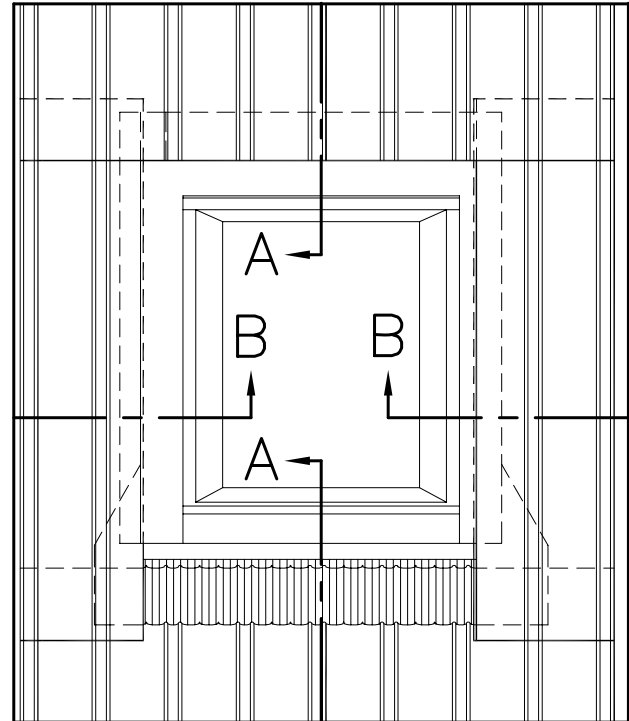
SHEET TITLE

REFLECTED CEILING PLANS

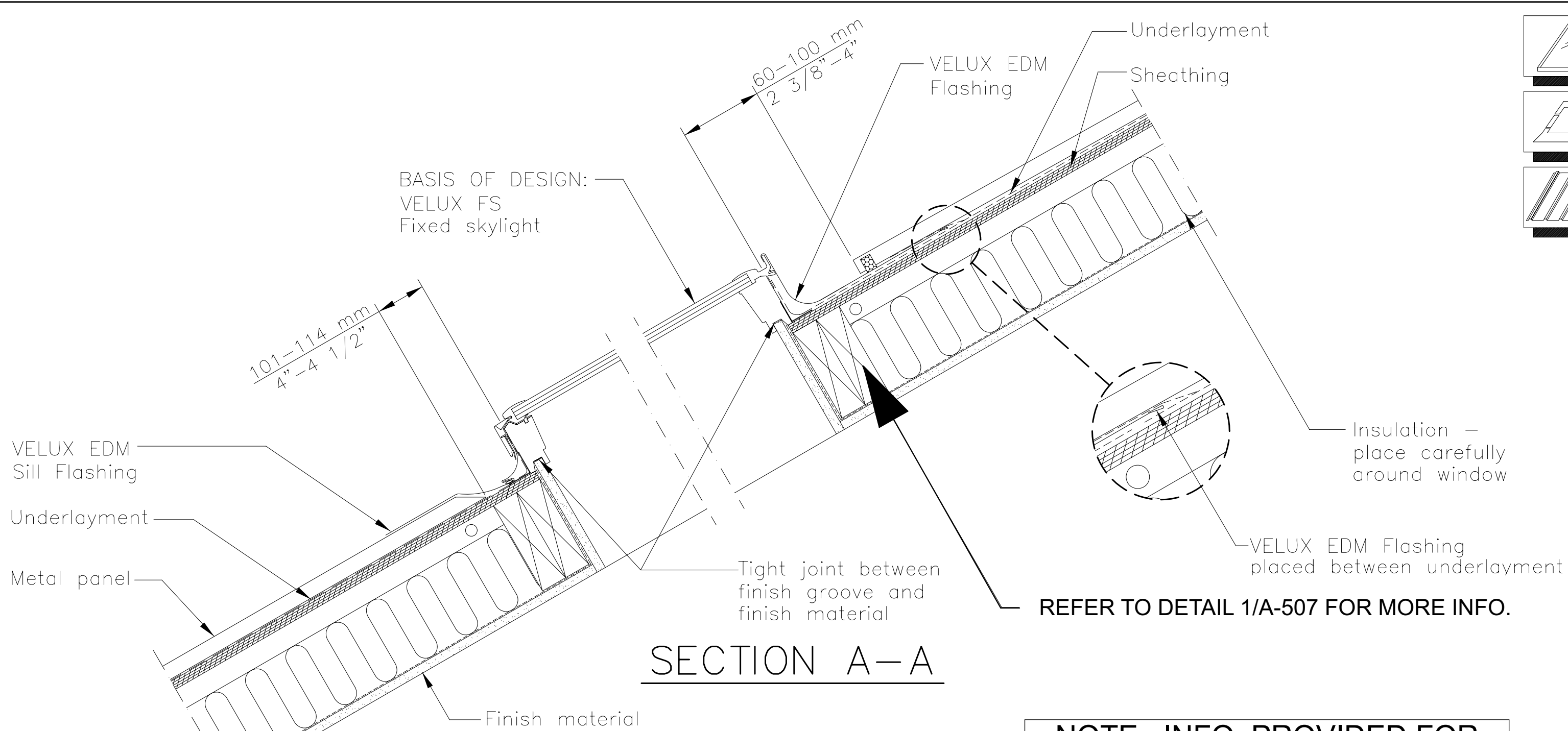
A-604

1 1ST FLOOR RCP

SCALE: 1/4" = 1'-0"



ELEVATION



SECTION A-A

BASIS OF DESIGN:
VELUX FS
Fixed skylight

VELUX EDM
Flashing

Sheathing

Ventilation

Insulation

Vapor barrier
Note 3

Underlayment
Vapor barrier
Note 3

Tight joint
between finish
groove and
finish material.

SECTION B-B

This drawing is an instrument of service and is provided for informational use only.

NOTE: INFO. PROVIDED FOR CURB, SKYLIGHT, FINISH TO SKYLIGHT AND FLASHING DETAILS. FOR LIGHT WELL SHAFT CONFIGURATION, REFER TO FRAMING SECTIONS.

GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment included with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.

VELUX Sky-Product Management	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name	Date
		Drawn by	JDH Sept 10
		Checked by	WQ Sept 10
	Drawing No.		
FS-Residential/Commercial Roof Section with EDM Flashing and Metal Panel Roofing		FS-01-0910	

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mrobertson@thestratfordcompanies.com

Class A Contractor # 2705-106037A

Certified Landscape Architect #0406-000897

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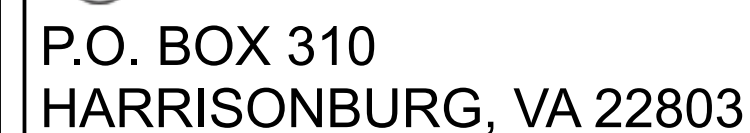
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SHEET TITLE

SKYLIGHT DETAILS

A-605

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INTERIOR ELEVATIONS PLAN

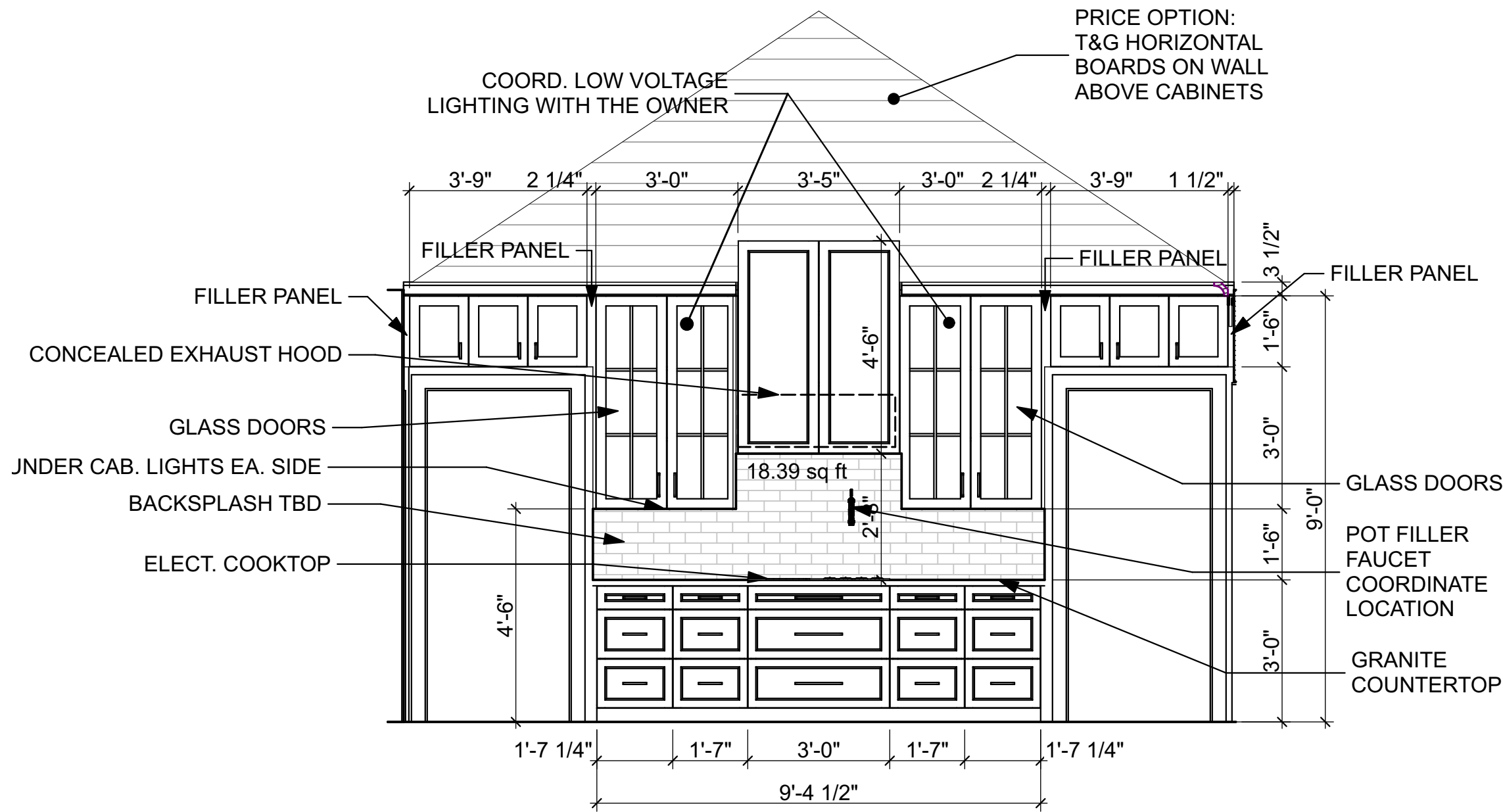
A-701



1
A-701

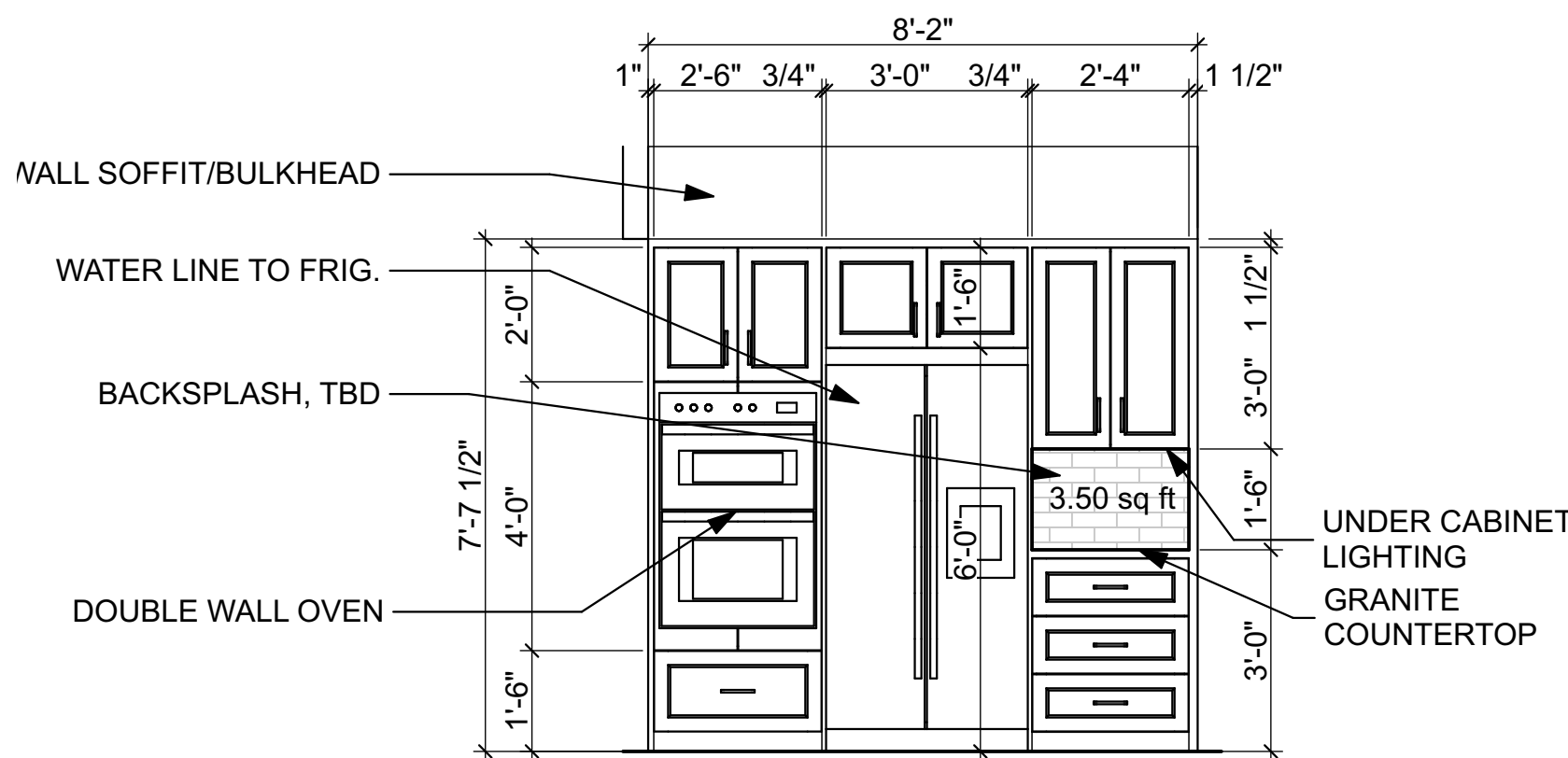
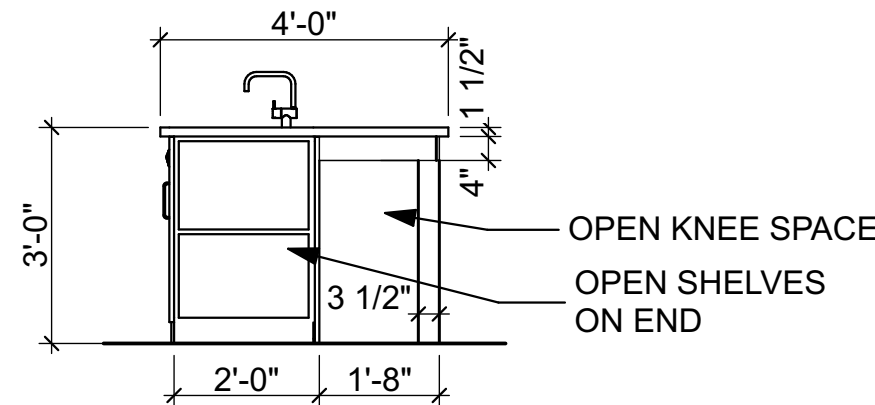
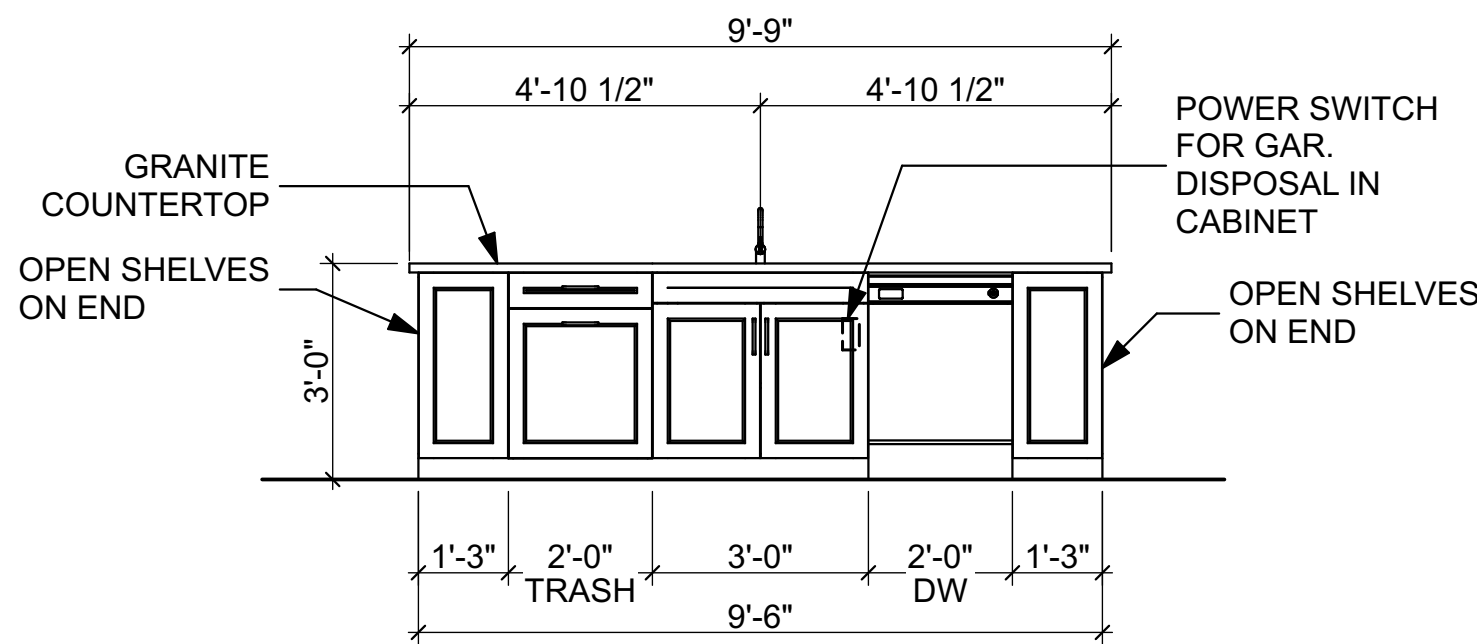
1st FLOOR PLAN-INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



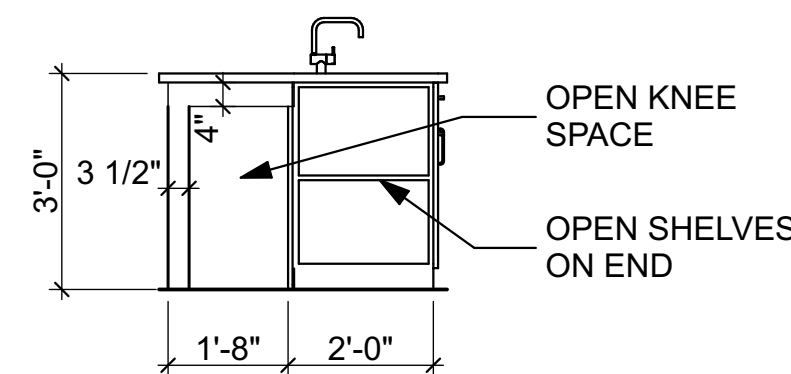
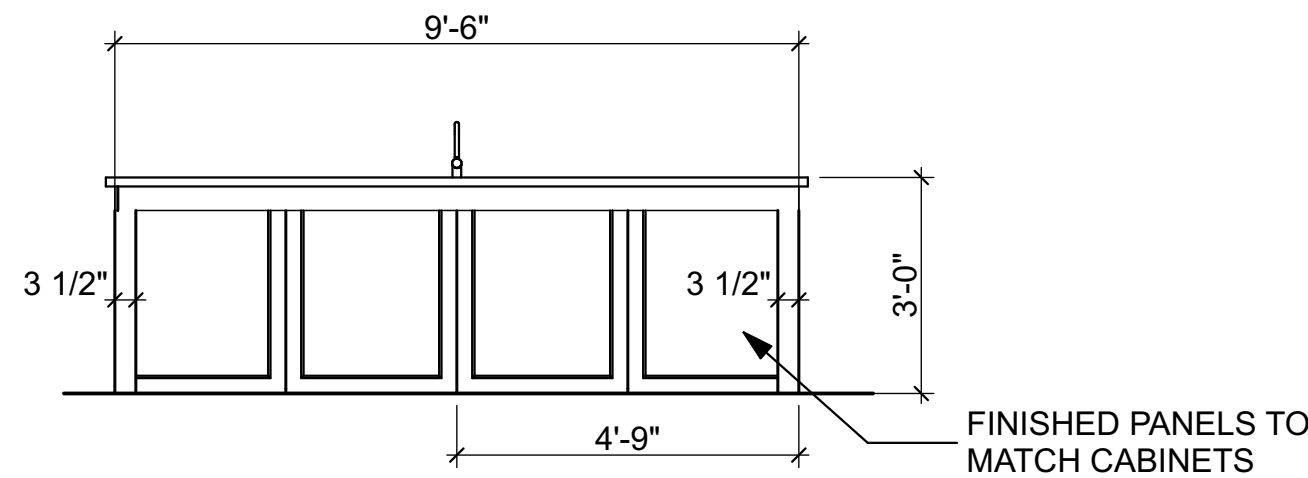
1 KITCHEN - RANGE WALL

A-702 SCALE: 3/8" = 1'-0"



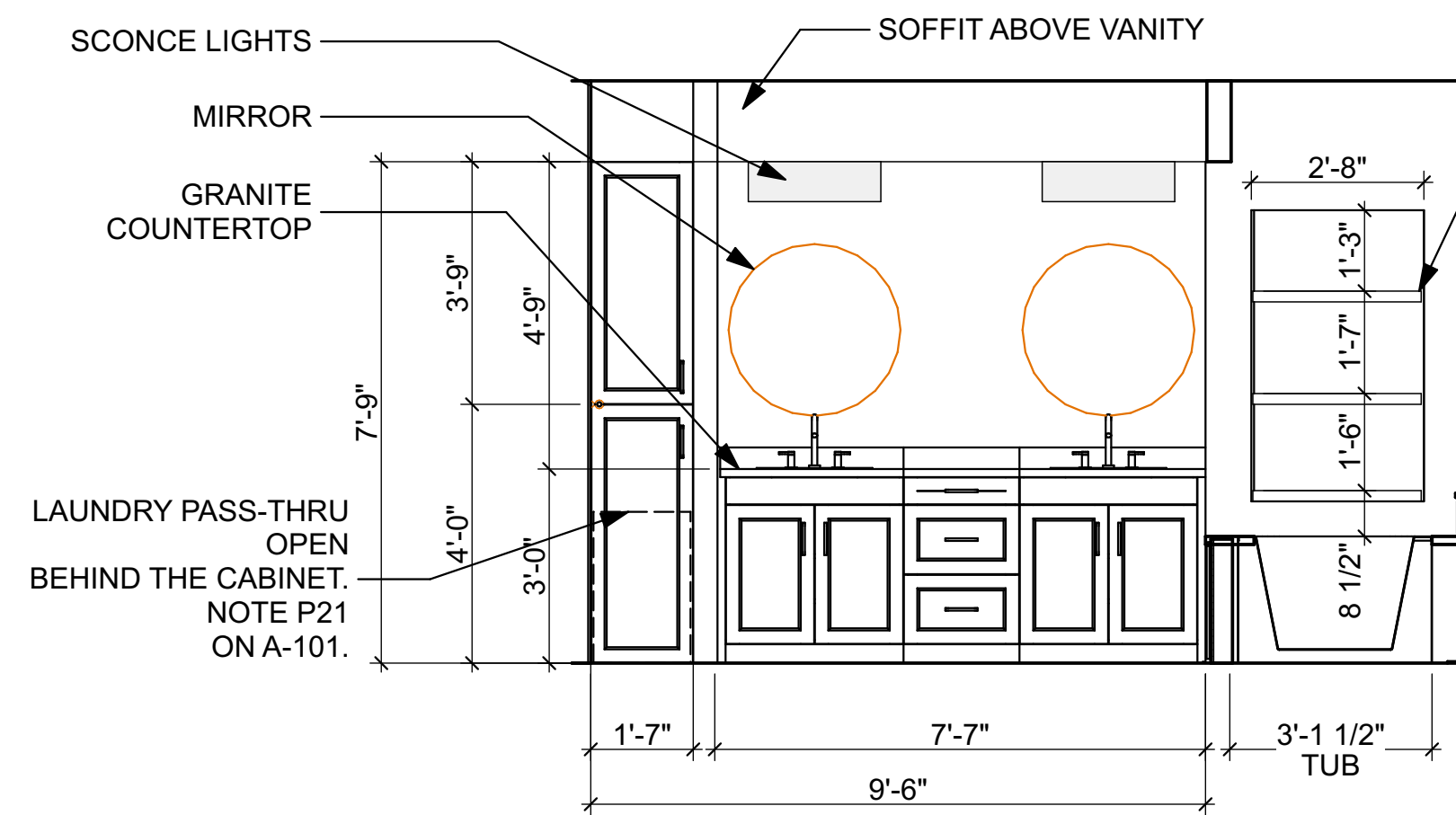
2 KITCHEN - FRIDGE WALL

A-702 SCALE: 3/8" = 1'-0"



3 KITCHEN - ISLAND SINK SIDE

A-702 SCALE: 3/8" = 1'-0"



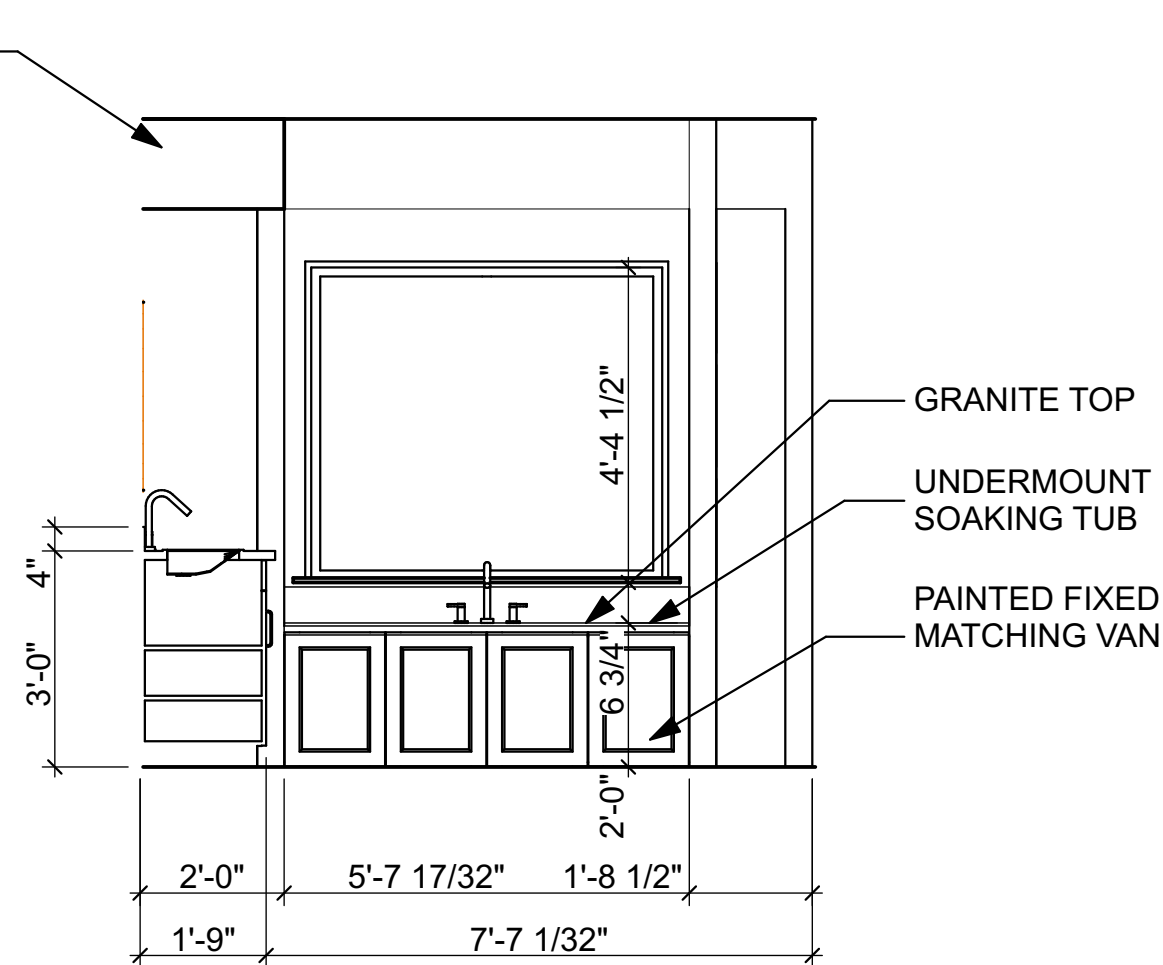
4 KITCHEN - ISLAND SIDES

A-702 SCALE: 3/8" = 1'-0"

OPEN SHELVES NICHE, DRYWALL RETURNS ON ALL SIDES. SAME FOR OTHER END OF TUB.

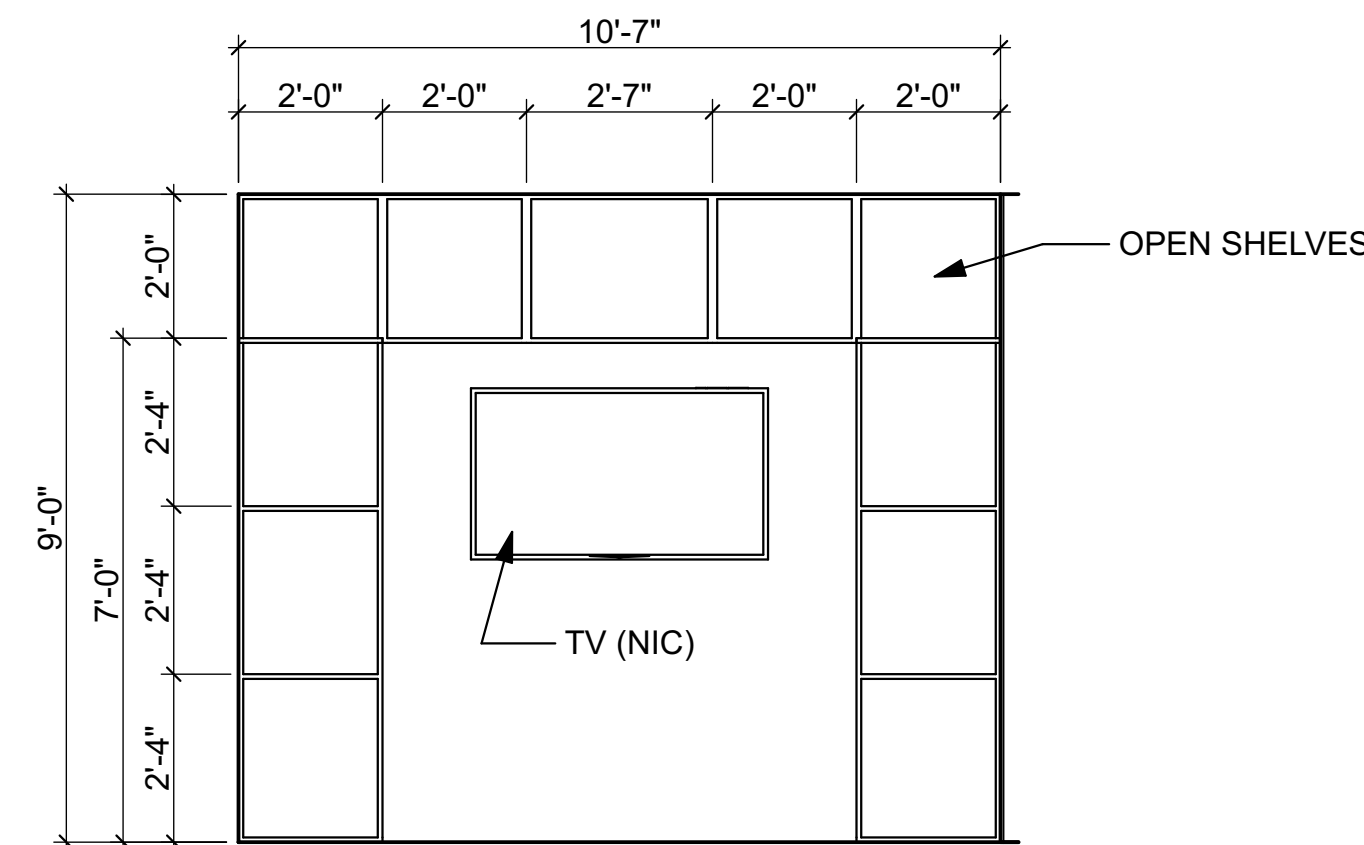
5 KITCHEN - ISLAND REAR

A-702 SCALE: 3/8" = 1'-0"



6 KITCHEN - ISLAND END

A-702 SCALE: 3/8" = 1'-0"



8 MASTER BATH - VANITY

A-702 SCALE: 3/8" = 1'-0"

7 MBR - TUB

A-702 SCALE: 3/8" = 1'-0"

9 OFFICE SHELVING WALL

A-702 SCALE: 3/8" = 1'-0"

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REV. DATE COMMENTS

Table with 3 columns: REV., DATE, COMMENTS. Contains 5 rows of revision data.

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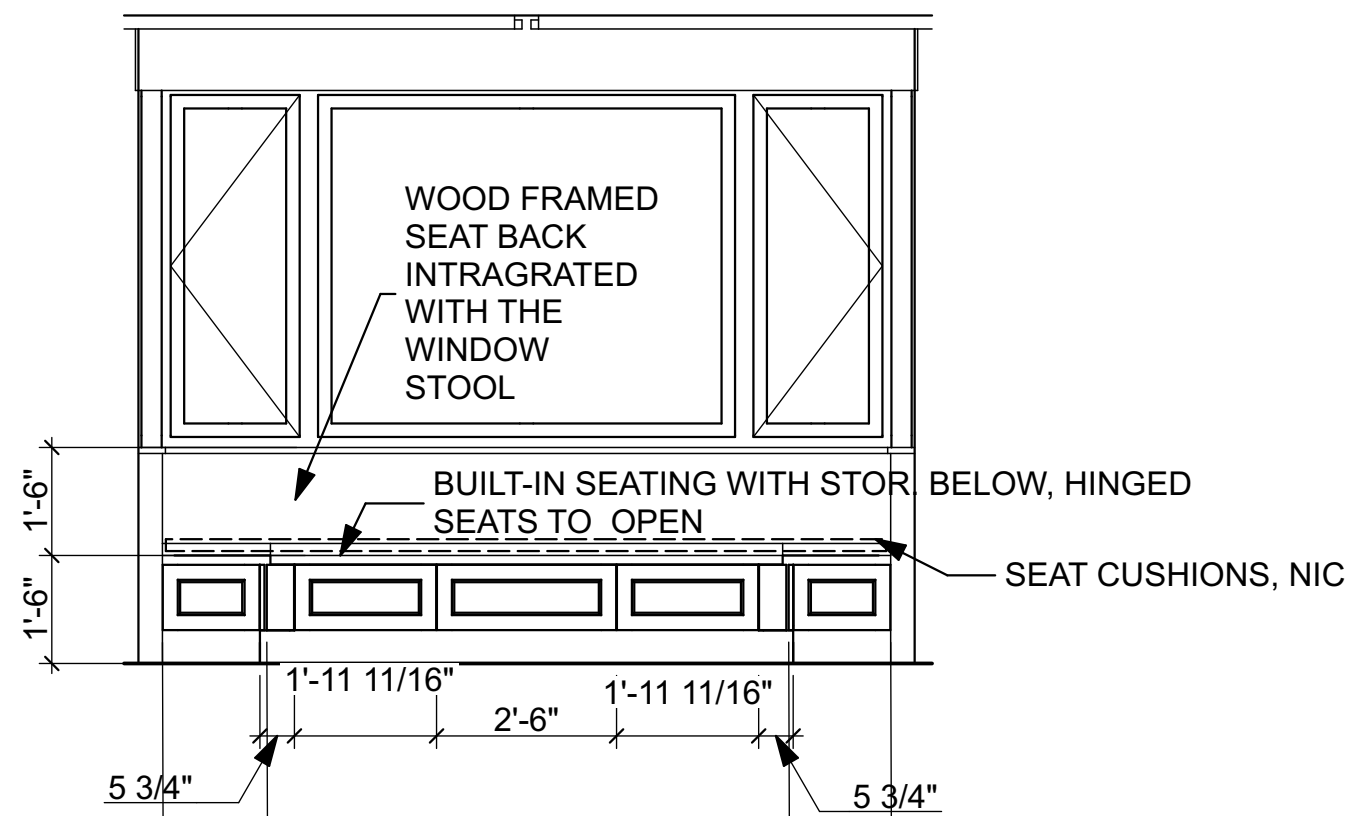
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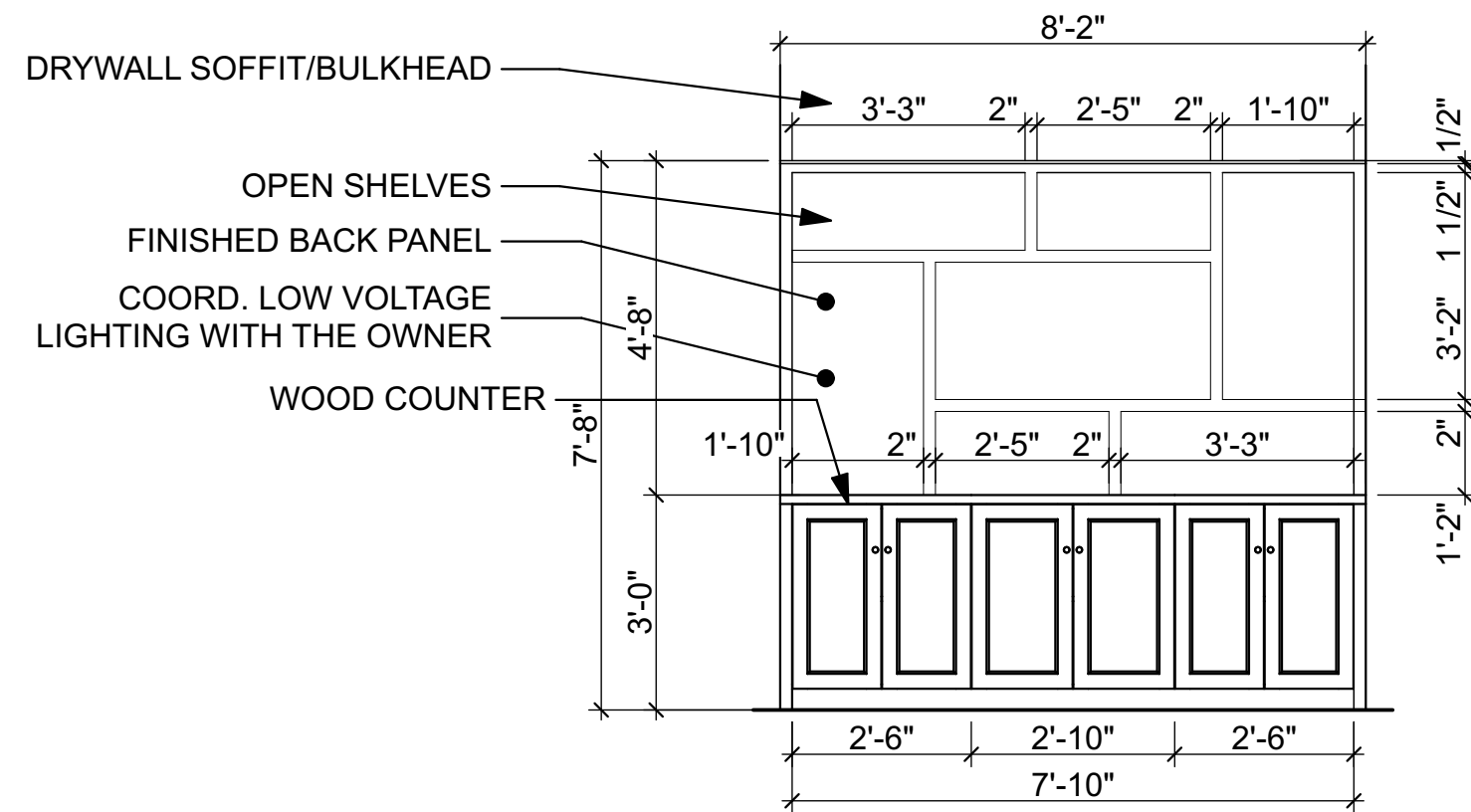
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INTERIOR ELEVATIONS

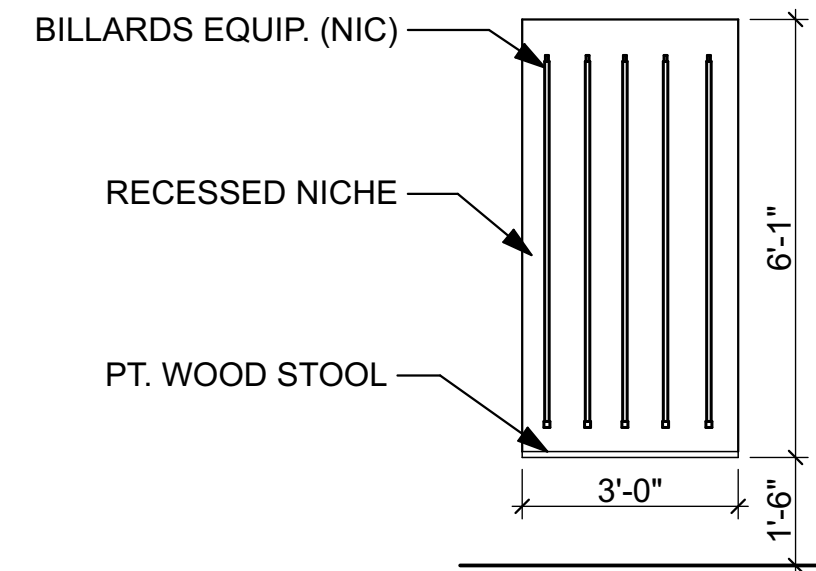
A-702



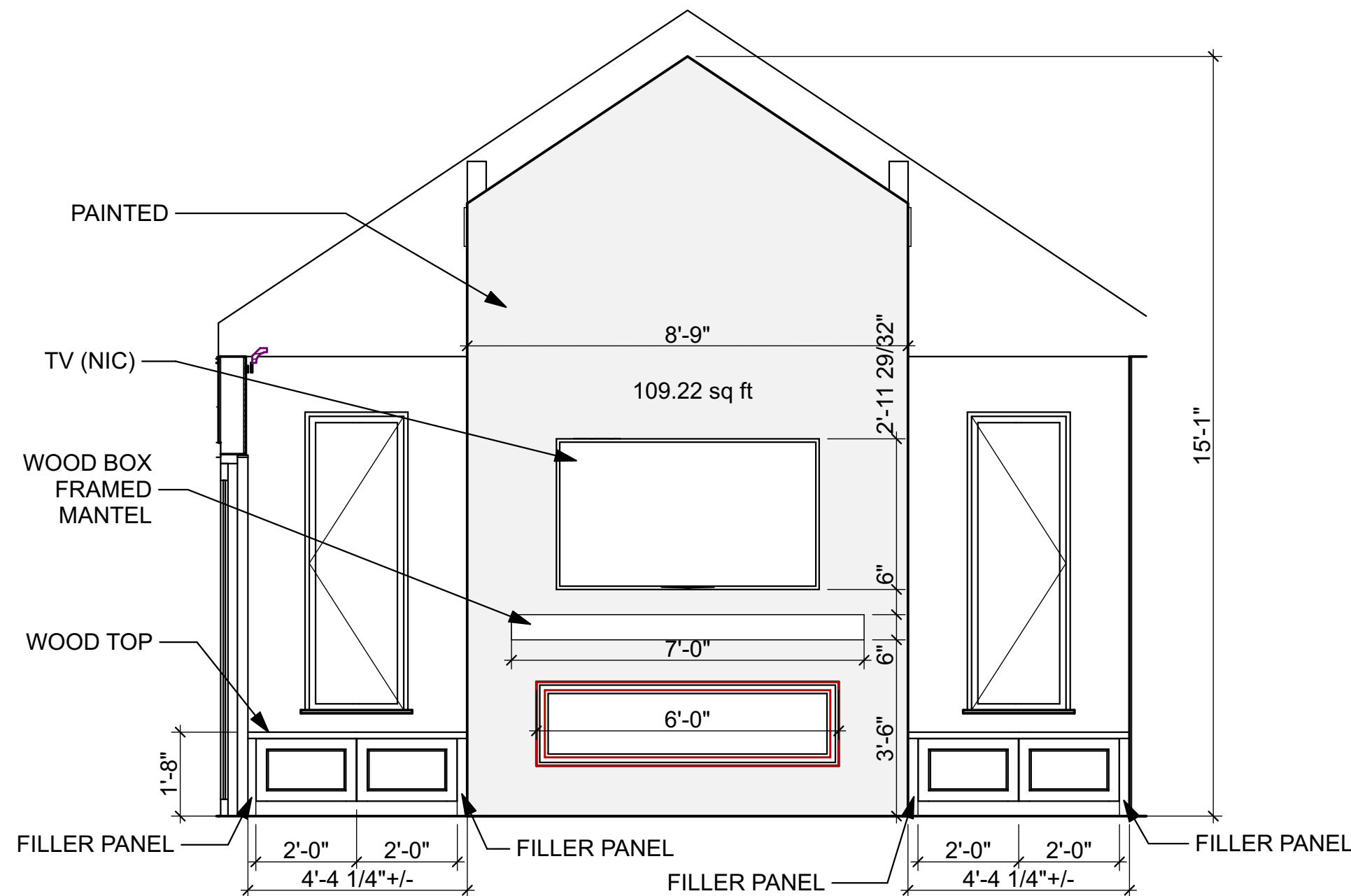
1 EAT-IN NOOK
A-703 SCALE: 3/8" = 1'-0"



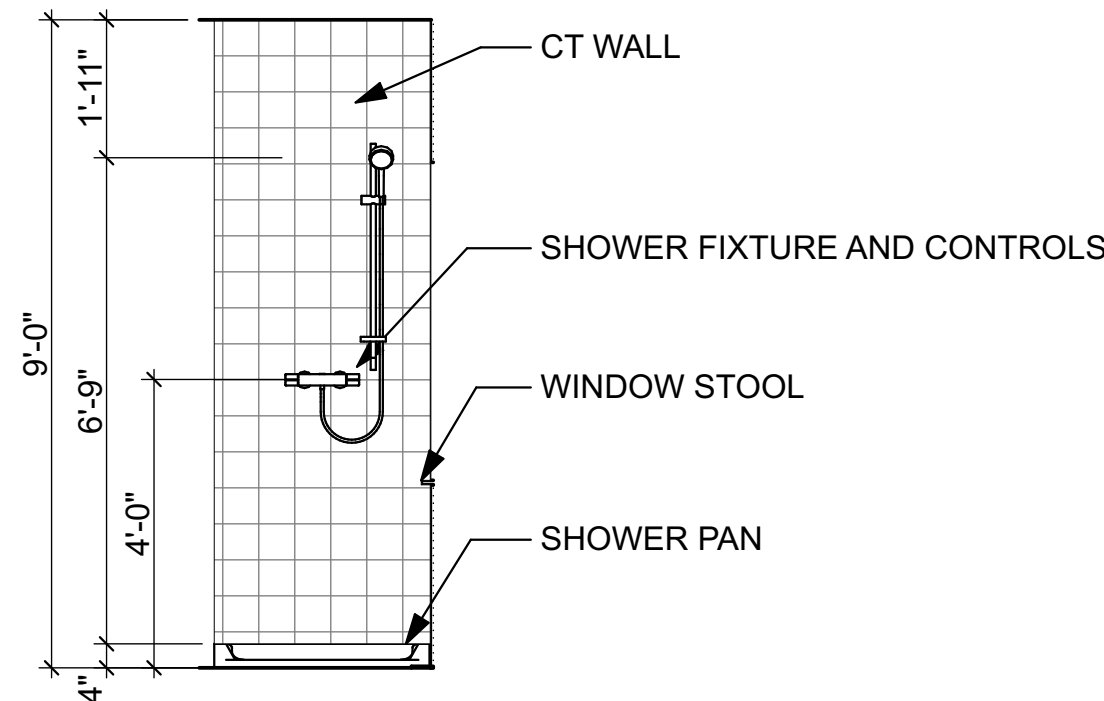
2 LIVING RM - SHELVING
A-703 SCALE: 3/8" = 1'-0"



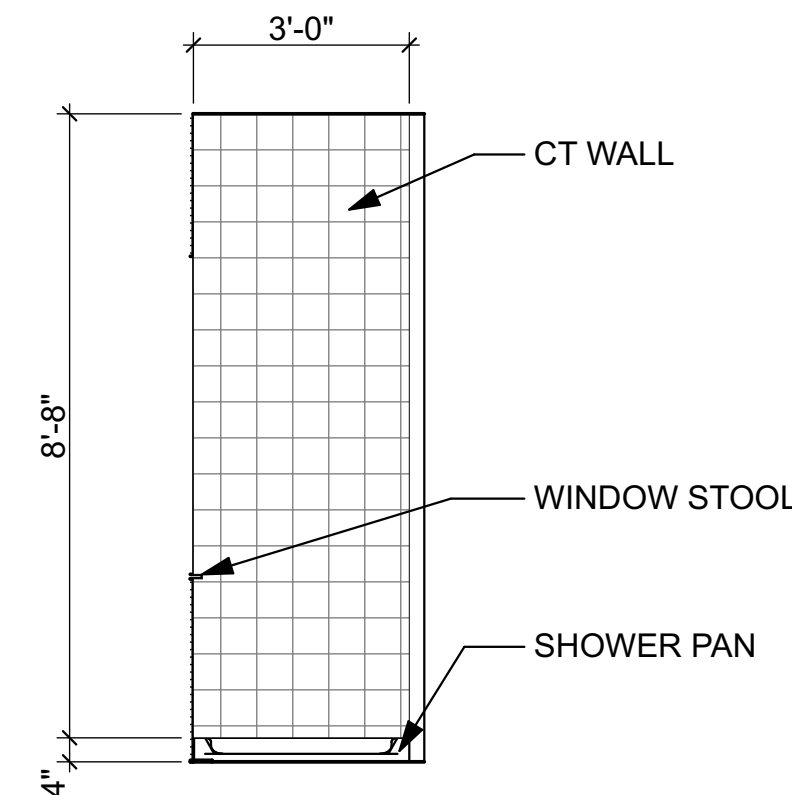
6 LIVING ROOM-BILLARDS NICHE
A-703 SCALE: 3/8" = 1'-0"



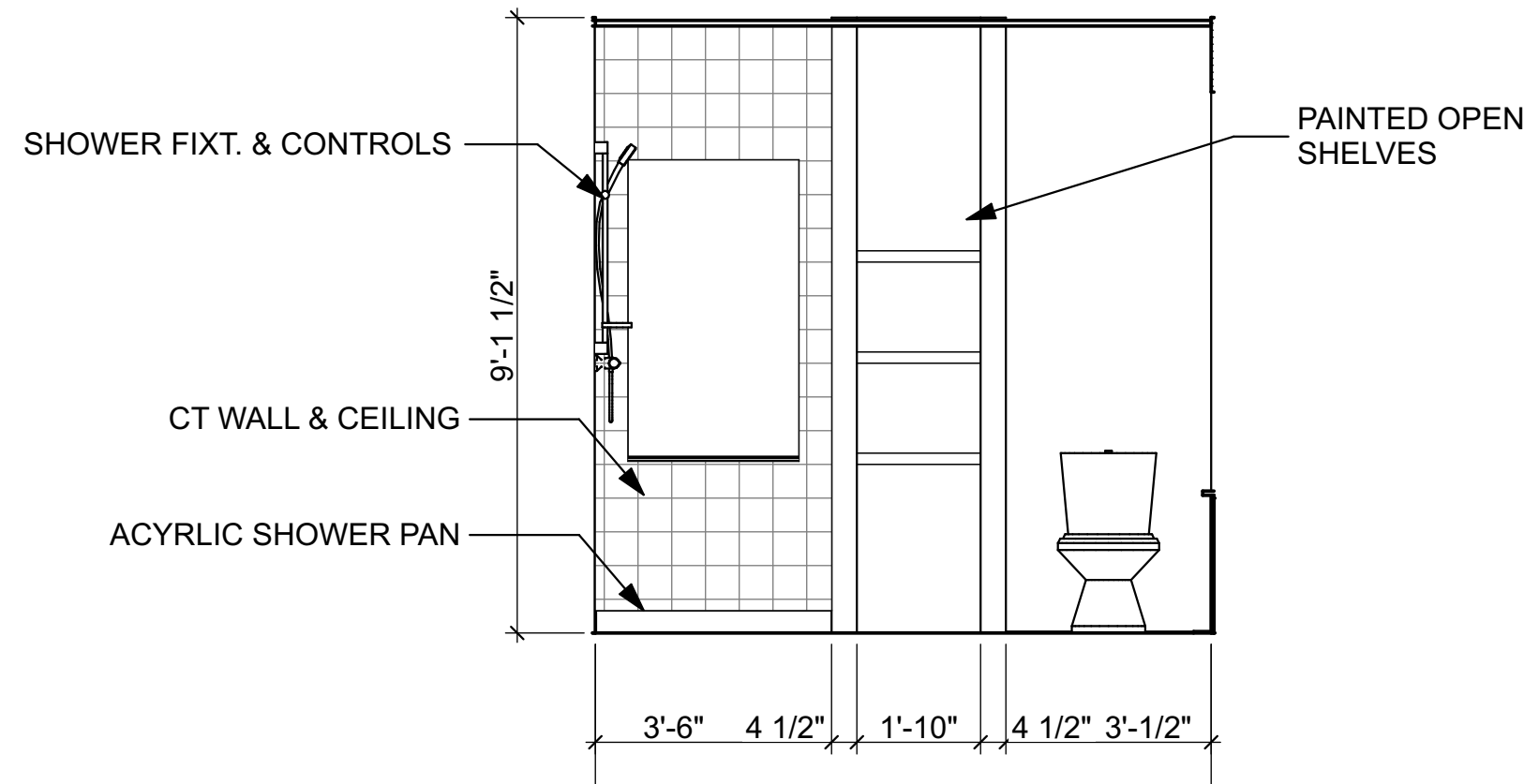
3 LIVING RM - AV STORAGE
A-703 SCALE: 3/8" = 1'-0"



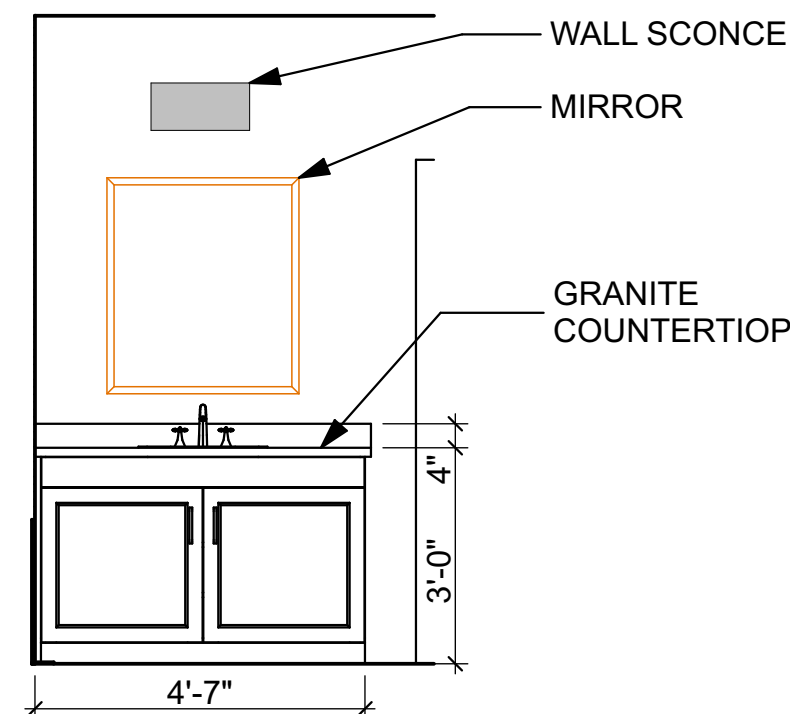
7 GUEST BATH WALL A
A-703 SCALE: 3/8" = 1'-0"



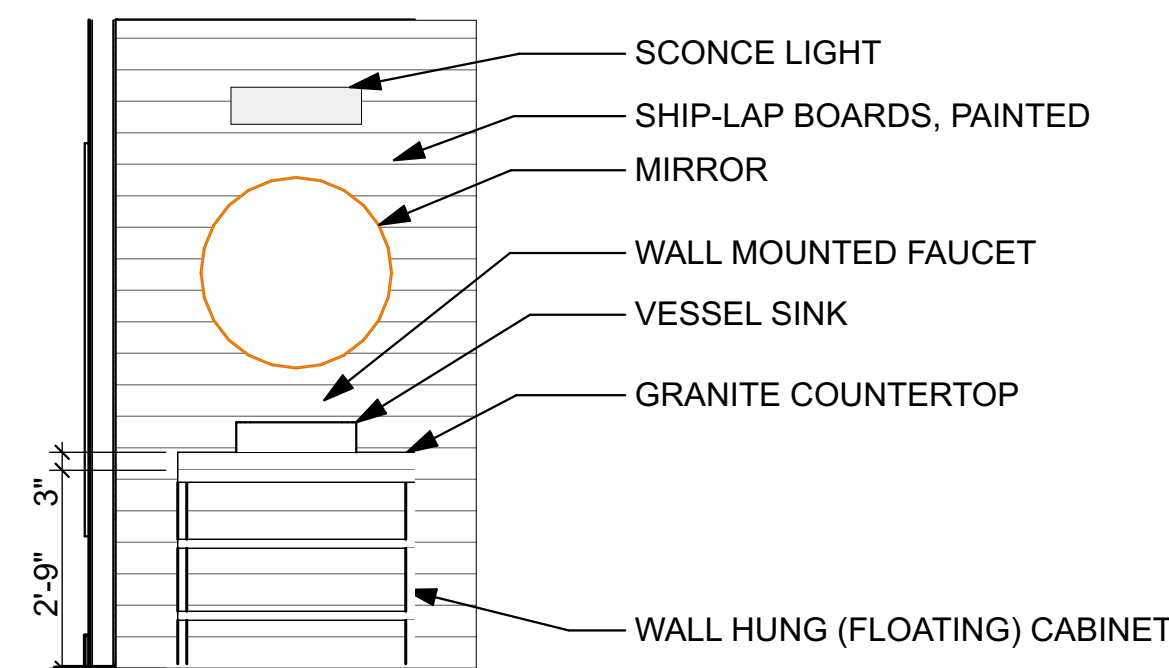
8 GUEST BATH WALL B
A-703 SCALE: 3/8" = 1'-0"



6 GUEST BATHROOM
A-703 SCALE: 3/8" = 1'-0"



4 GUEST BATH - VANITY
A-703 SCALE: 3/8" = 1'-0"



5 HALL BATH - VANITY
A-703 SCALE: 3/8" = 1'-0"

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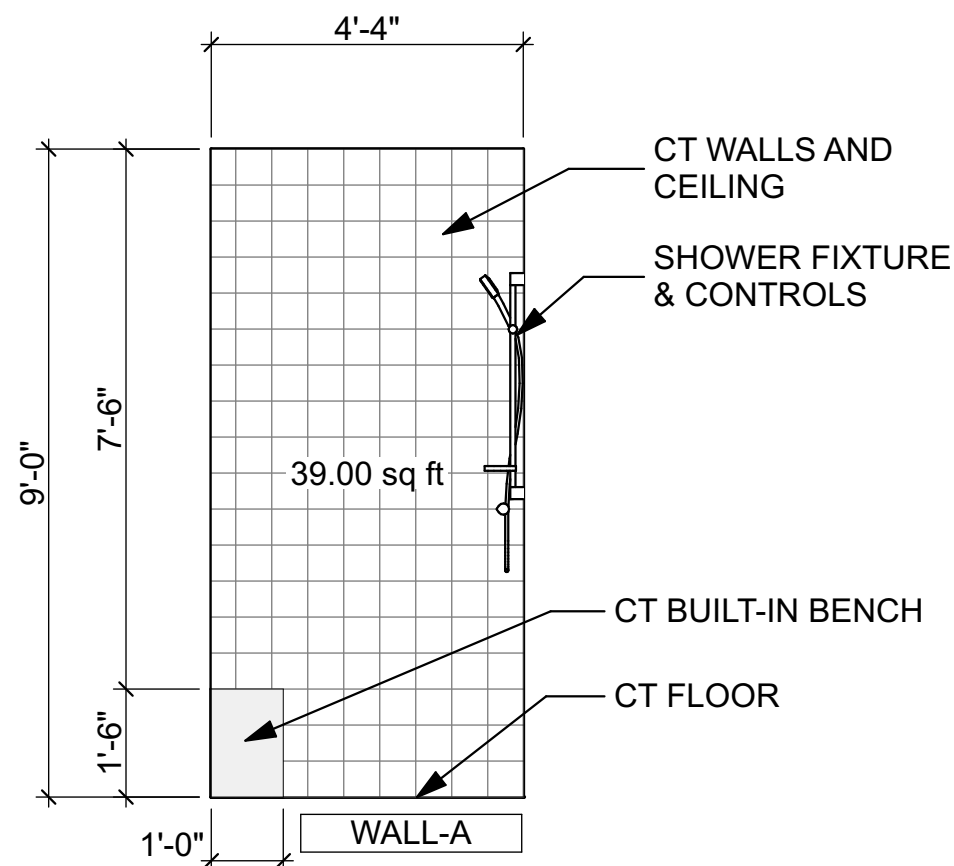
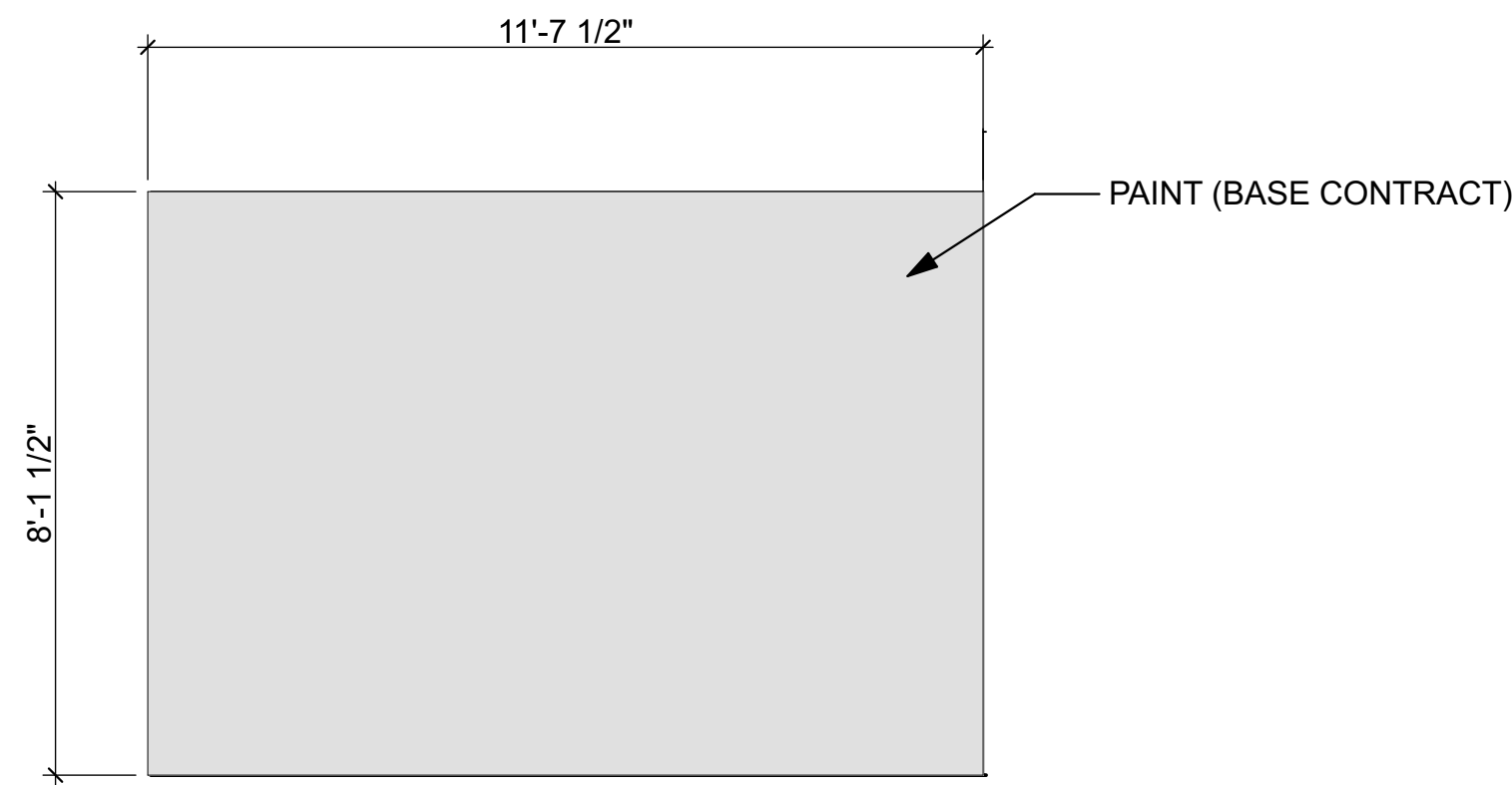
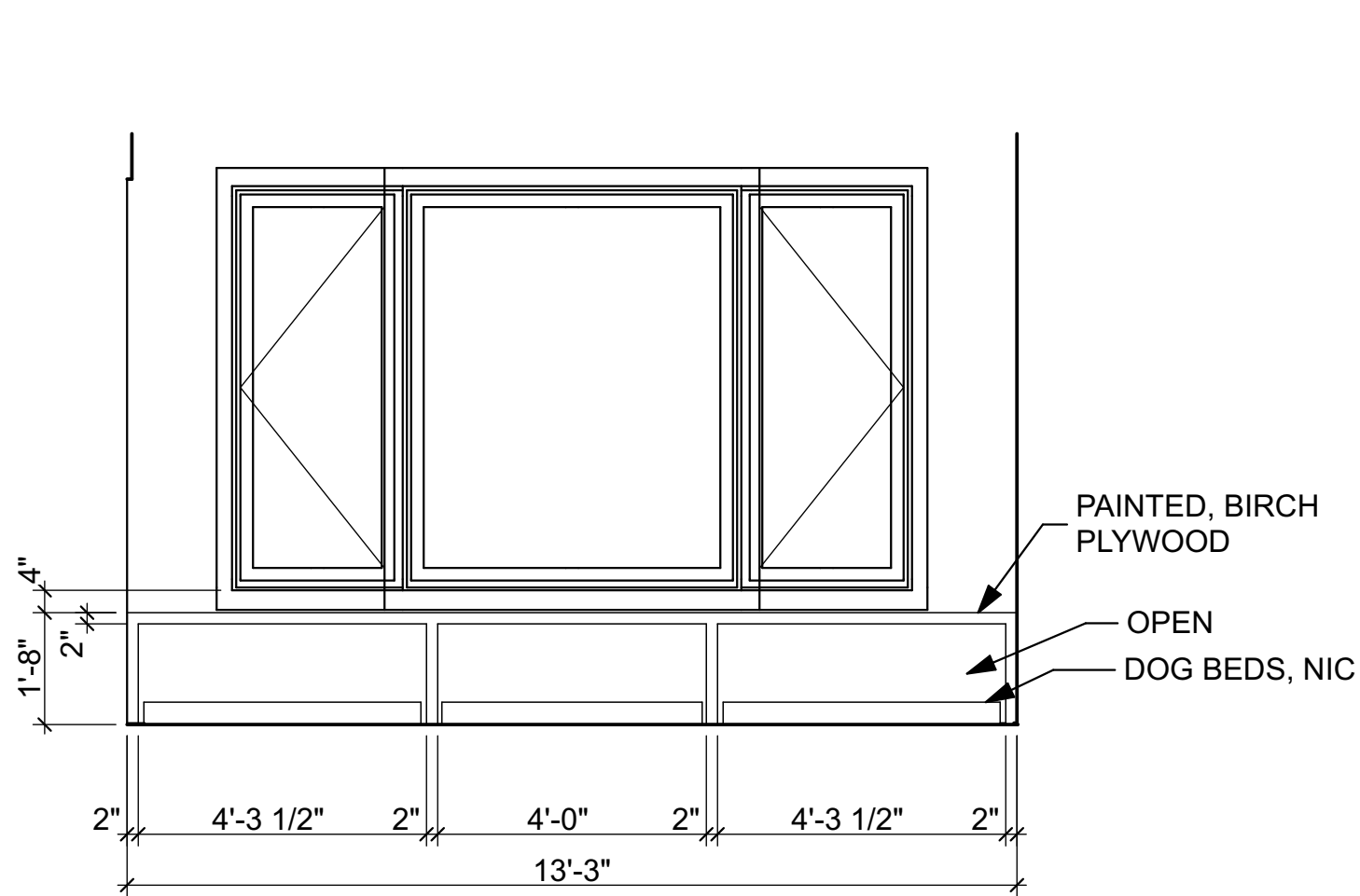
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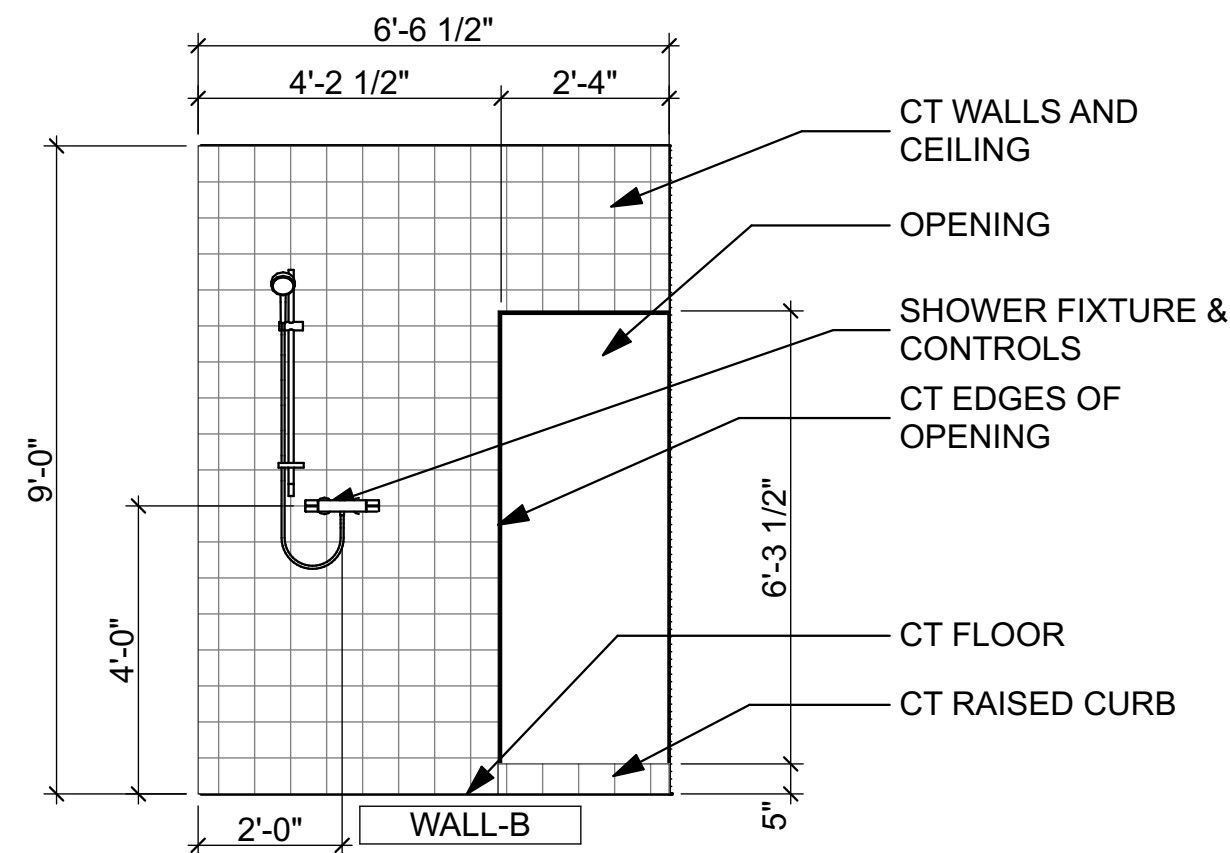
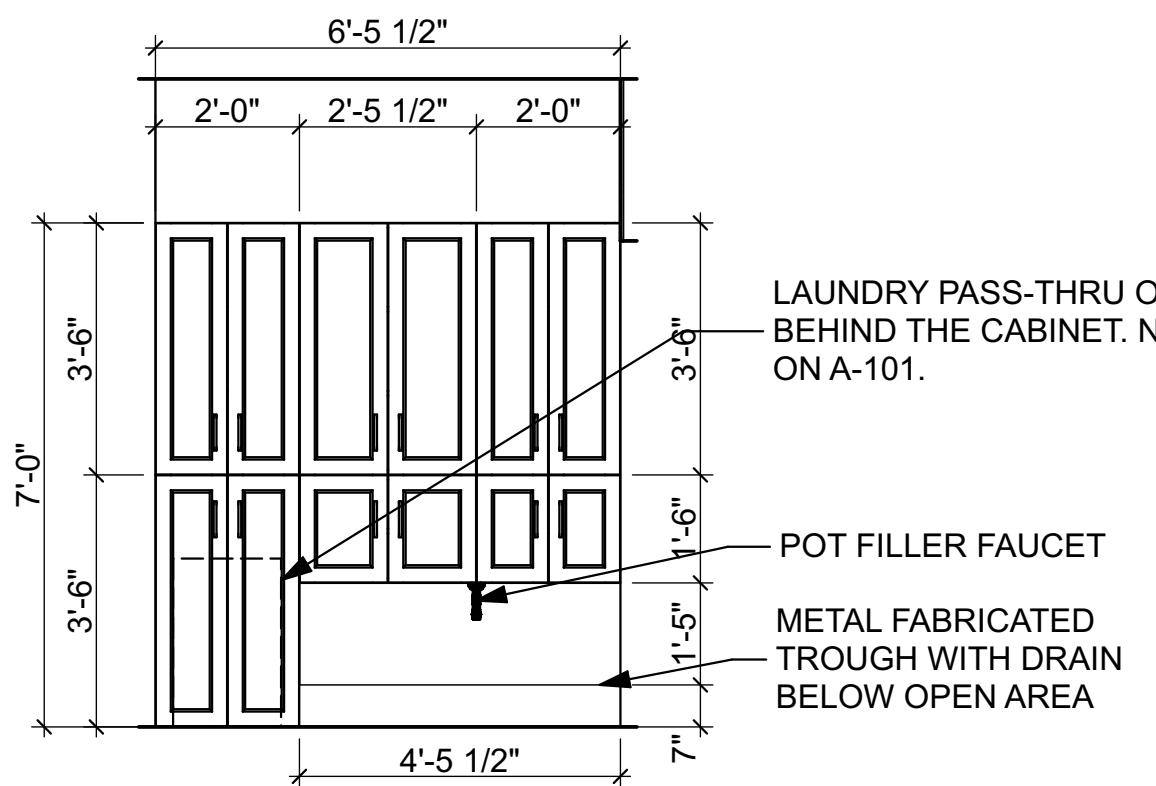
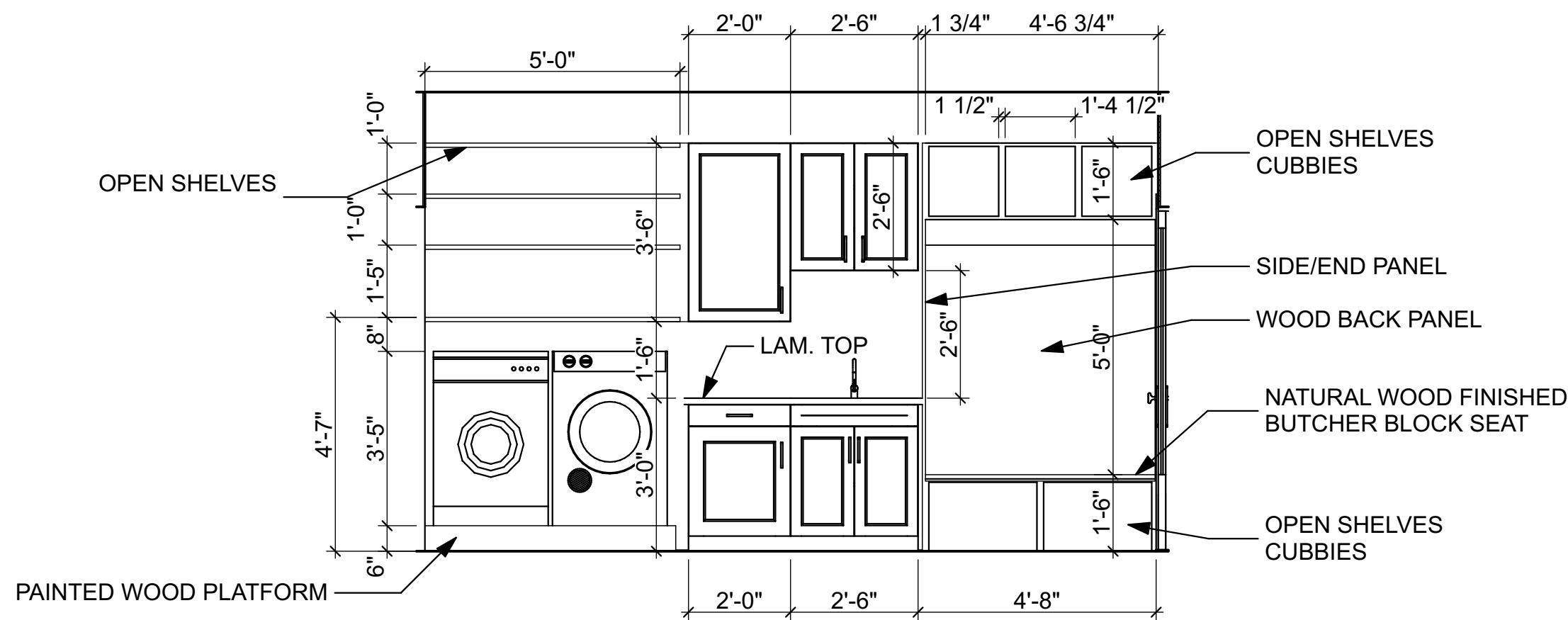
A-703



1 MBR WINDOW SEAT
A-704 SCALE: 3/8" = 1'-0"

2 MBR-ACCENT WALL
A-704 SCALE: 3/8" = 1'-0"

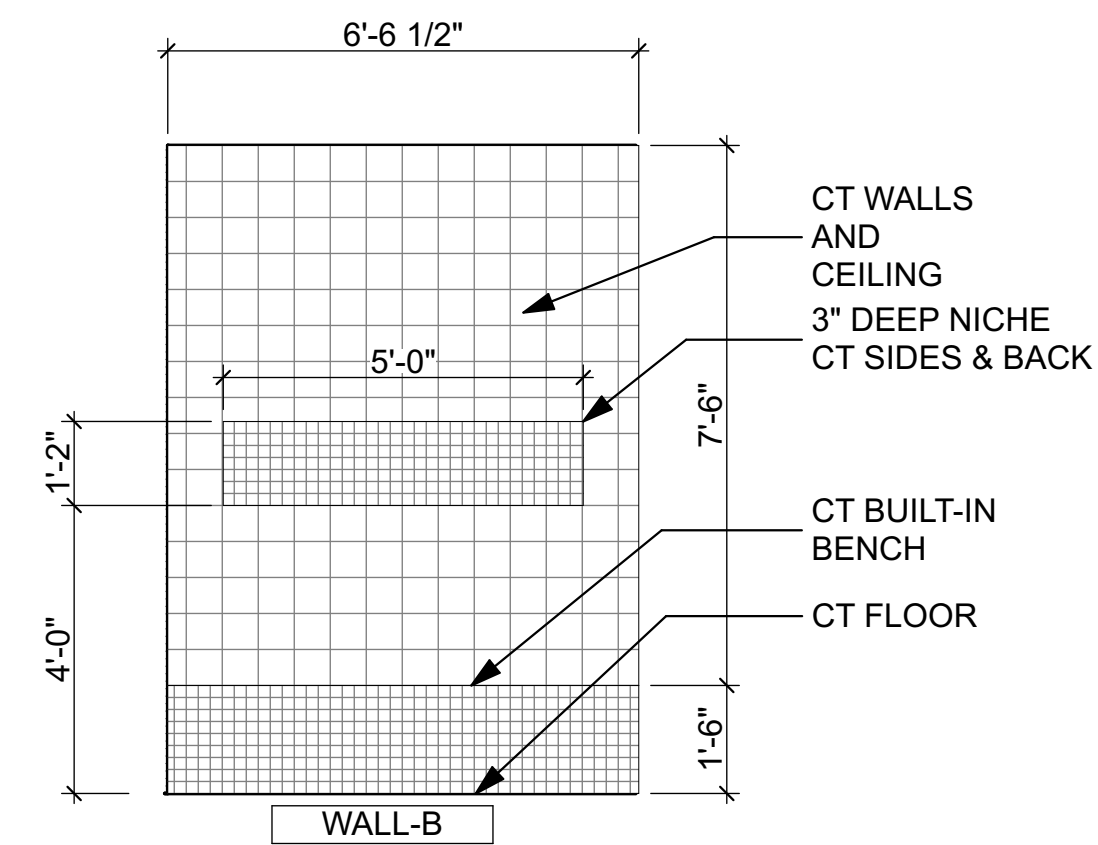
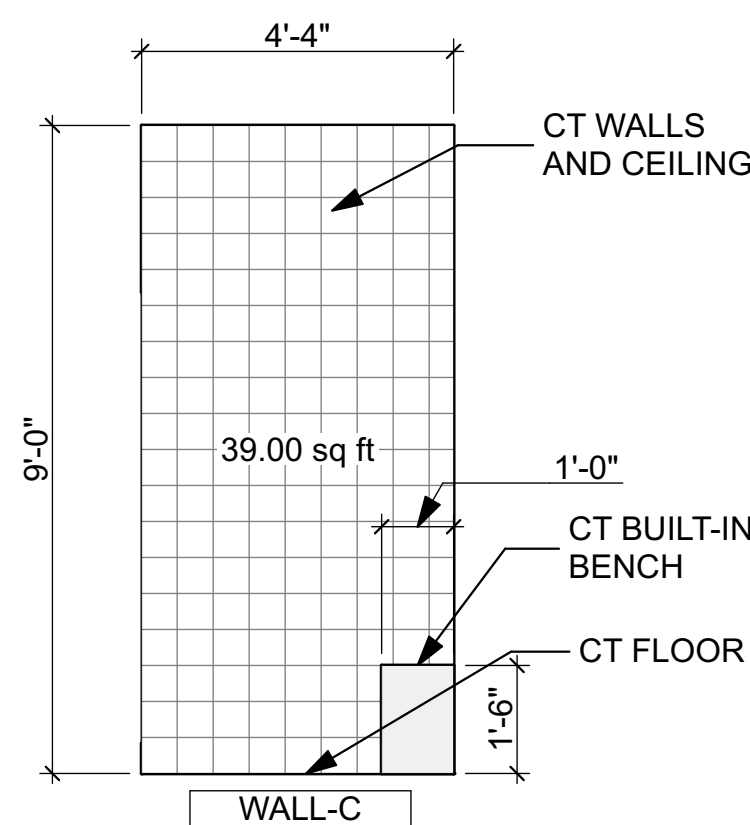
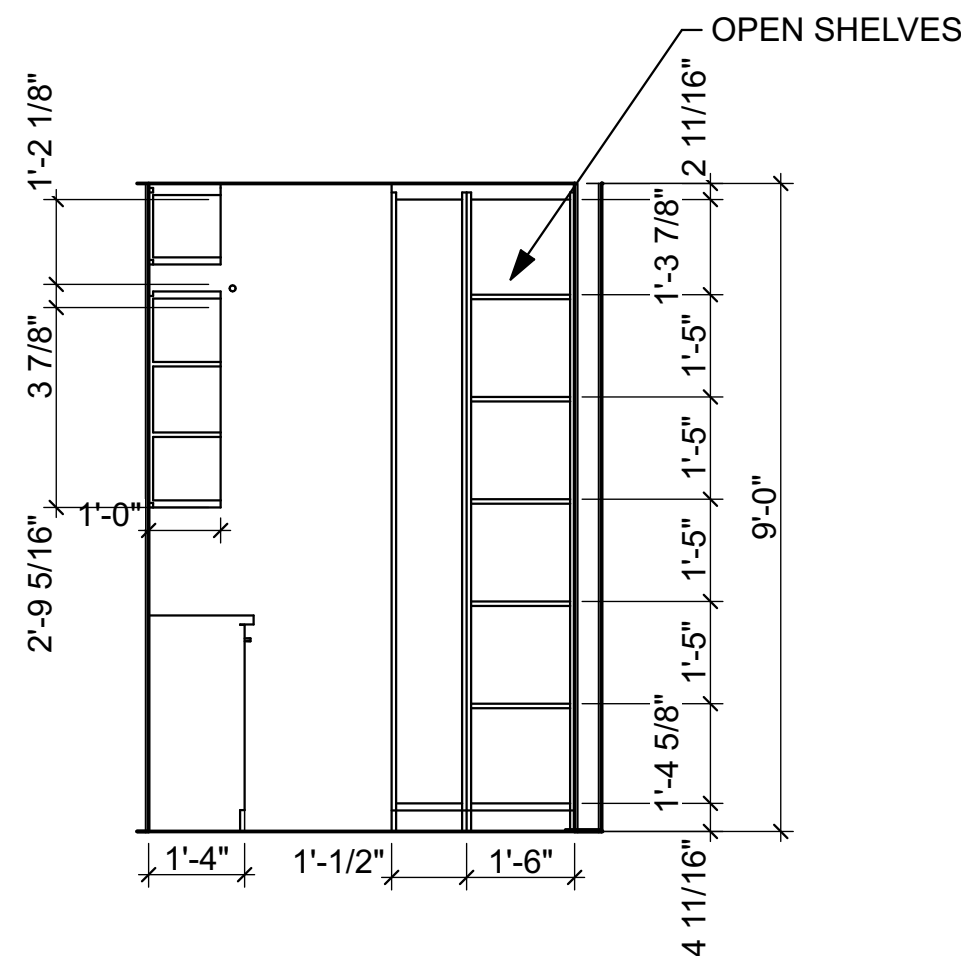
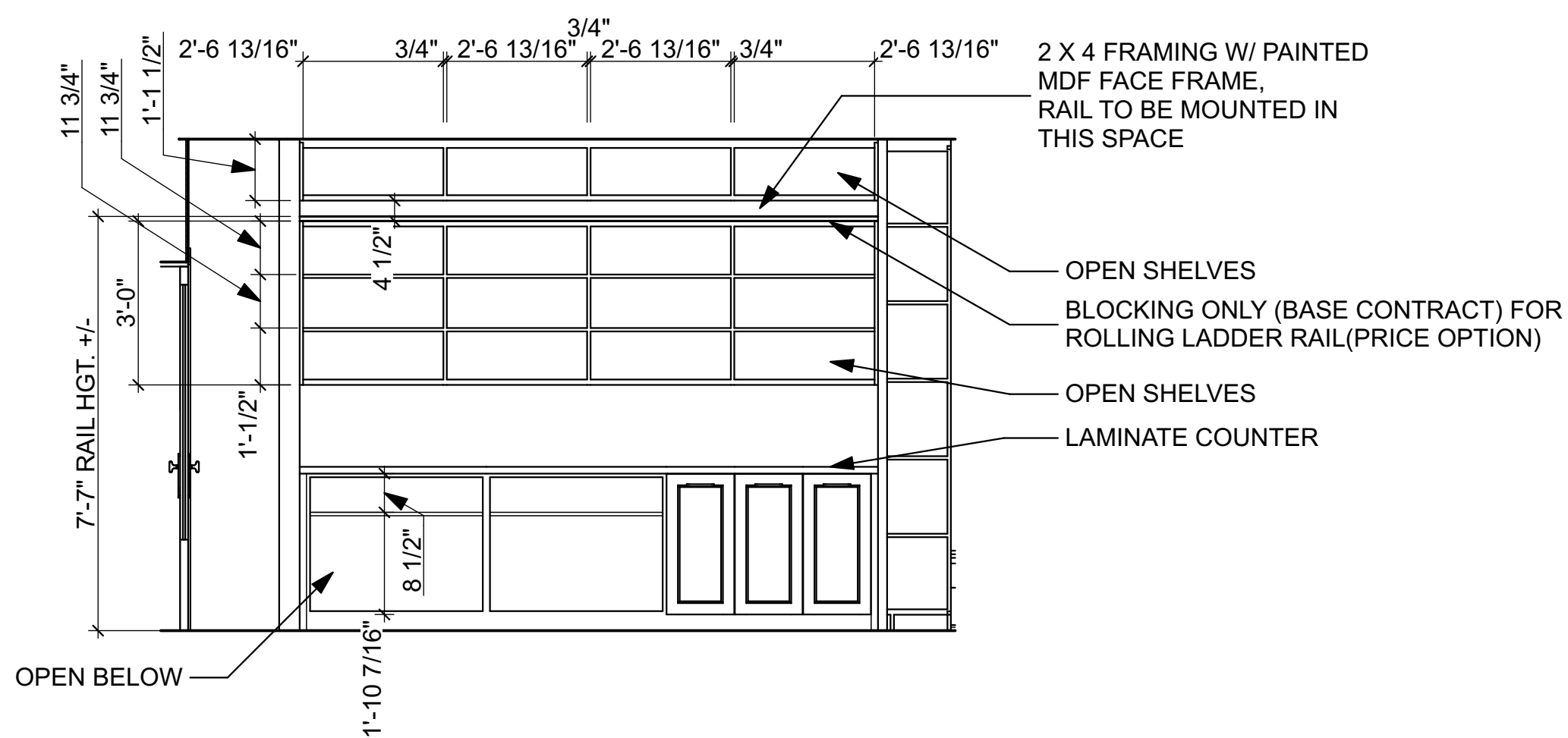
7 MBR SHOWER WALL A
A-704 SCALE: 3/8" = 1'-0"



6 LAUNDRY - APPLIANCE WALL
A-704 SCALE: 3/8" = 1'-0"

7 LAUNDRY - STORAGE WALL
A-704 SCALE: 3/8" = 1'-0"

8 MBR SHOWER WALL B
A-704 SCALE: 3/8" = 1'-0"



5 PANTRY - LADDER WALL
A-704 SCALE: 3/8" = 1'-0"

6 PANTRY - TALL SHELVES
A-704 SCALE: 3/8" = 1'-0"

9 MBR SHOWER WALL C
A-704 SCALE: 3/8" = 1'-0"

10 MBR SHOWER WALL D
A-704 SCALE: 3/8" = 1'-0"

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INTERIOR ELEVATIONS

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